

**TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION**  
**FROM: RON WHISENAND, COMMUNITY DEVELOPMENT DIRECTOR**  
**SUBJECT: PLANNED DEVELOPMENT 06-003, 1100 UNION ROAD**  
**APN 025-403-037, APPLICANT – ROGER SHARP**

**DATE: SEPTEMBER 26, 2006**

**Needs:** For the Planning Commission to consider an application for a Planned Development to construct an 11,100 s.f. commercial building.

- Facts:**
1. The site is located at the northeast corner of the intersection of Golden Hill and Union Roads.
  2. The proposed project is to construct a 2-story, 11,100 s.f. retail, restaurant and office building.
  3. The site is proposed to include two accesses, with one access on each street frontage. The site is designed with the parking lot at the rear of the site and the building toward the corner. Entrances would be accessed from the parking lot.
  4. The building is designed with “4-sided” contemporary architecture, with details and windows on each elevation.
  5. There are two existing oak trees located within the Union Road right-of-way on the south side of the project. The trees are not proposed to be removed with this project. Tree protection measures are proposed to protect the critical root zones of the trees.
  6. The City is currently preparing road improvement plans for the intersection, which includes a roundabout. The building is setback out of the land area that will be needed to accommodate construction of the intersection improvements.
  7. The property is designated in the General Plan as Commercial Service (CS). The zoning of the property is Commercial/Light Manufacturing (C3).
  8. The Development Review Committee (DRC) reviewed this project on August 28, 2006, and recommended approval to the Planning Commission.
  9. An environmental review was conducted for this proposed project, in accordance with the California Environmental Quality Act (CEQA), and no significant environmental impacts were identified that would result from this project. Therefore, a draft Negative Declaration has been prepared for consideration.

**Analysis  
and  
Conclusions:**

This proposed commercial project is consistent with all applicable development standards and design guidelines. The building exterior walls include many projections and offsets. It also includes side stair cases to access the second story, and a balcony on the upstairs. The roofline is divided up into several different heights and orientations, and includes cornice details. The proposed building colors includes use of contrasting light

brown/beige (“smoky topaz and camelback”) stucco for exterior walls, with stained wood trellis beams, and a combination of clay tiles and burgundy metal roofing. The interior space walls can be modified to accommodate the lease area needs of individual tenants.

The building is proposed to be up to 29.7 ft. in height, and setback 26 feet from Golden Hill Road, and 25 feet Union Road. The parking lot provides the required parking needs of 53 spaces. This includes: 19 spaces for the retail area (4,750 s.f.); 9 spaces for the restaurant (1,350 s.f.); and 25 spaces for the office use (5,000 s.f.). The parking lot is also in compliance with required aisle drive and back-up widths.

The sprinkler backflow device has been located to the edge of the northern property line, and the electrical transformer is proposed to be placed in an underground vault so that utilities do not detract from the aesthetics of the site. A trash enclosure is proposed along the eastern property line. The project includes landscaping for the area near the building and parking lot, and temporary landscaping of lawn area and rosemary for the area near the corner roundabout since that area may be modified in the future. As noted above, the existing oak trees are proposed to remain. The architecture is well designed and suitable for this location, and would be an attractive addition to the area. The site is generally flat, and there are no significant site development issues.

No environmental impacts were identified that could result from the project. A Negative Declaration has been prepared for consideration by the Planning Commission.

Development of this project would support the intent of the General Plan and the 2006 Economic Strategy by attracting new business development to the City. It is also consistent with the Commercial/Industrial Design Guidelines.

**Reference:** Paso Robles General Plan and EIR, Paso Robles Zoning Ordinance, 2006 Paso Robles Economic Strategy and CEQA.

**Fiscal Impact:** None.

**Options:** After opening the public hearing and taking public testimony, the Planning Commission is requested to take one of the actions listed below:

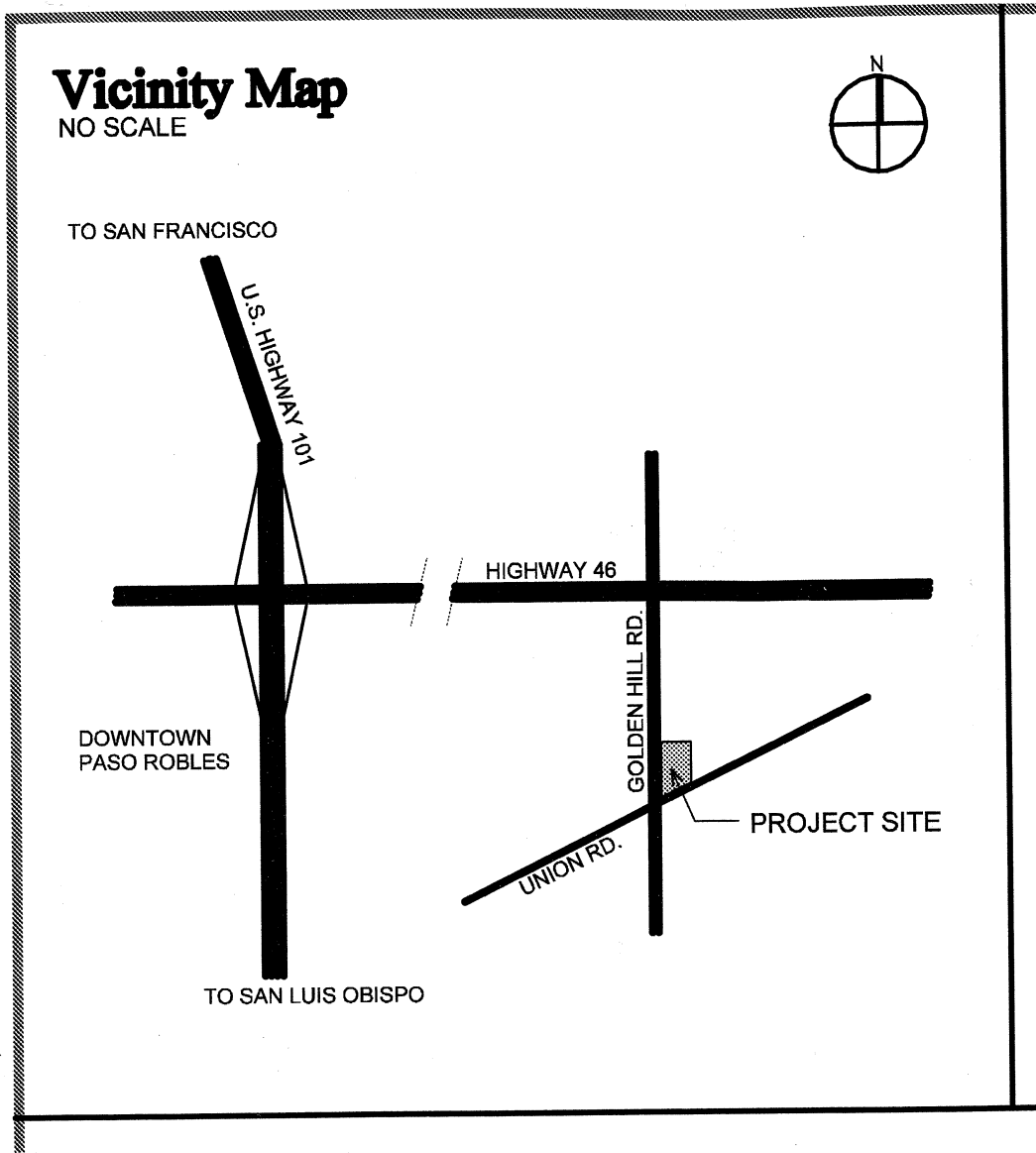
By separate motions:

- a. (1) Adopt the attached Resolution issuing a Negative Declaration for Planned Development 06-003; and (2) adopt the attached Resolution approving Planned Development 06-003.
- b. Amend, modify, or reject the above-listed action.
- c. Request additional information and analysis.

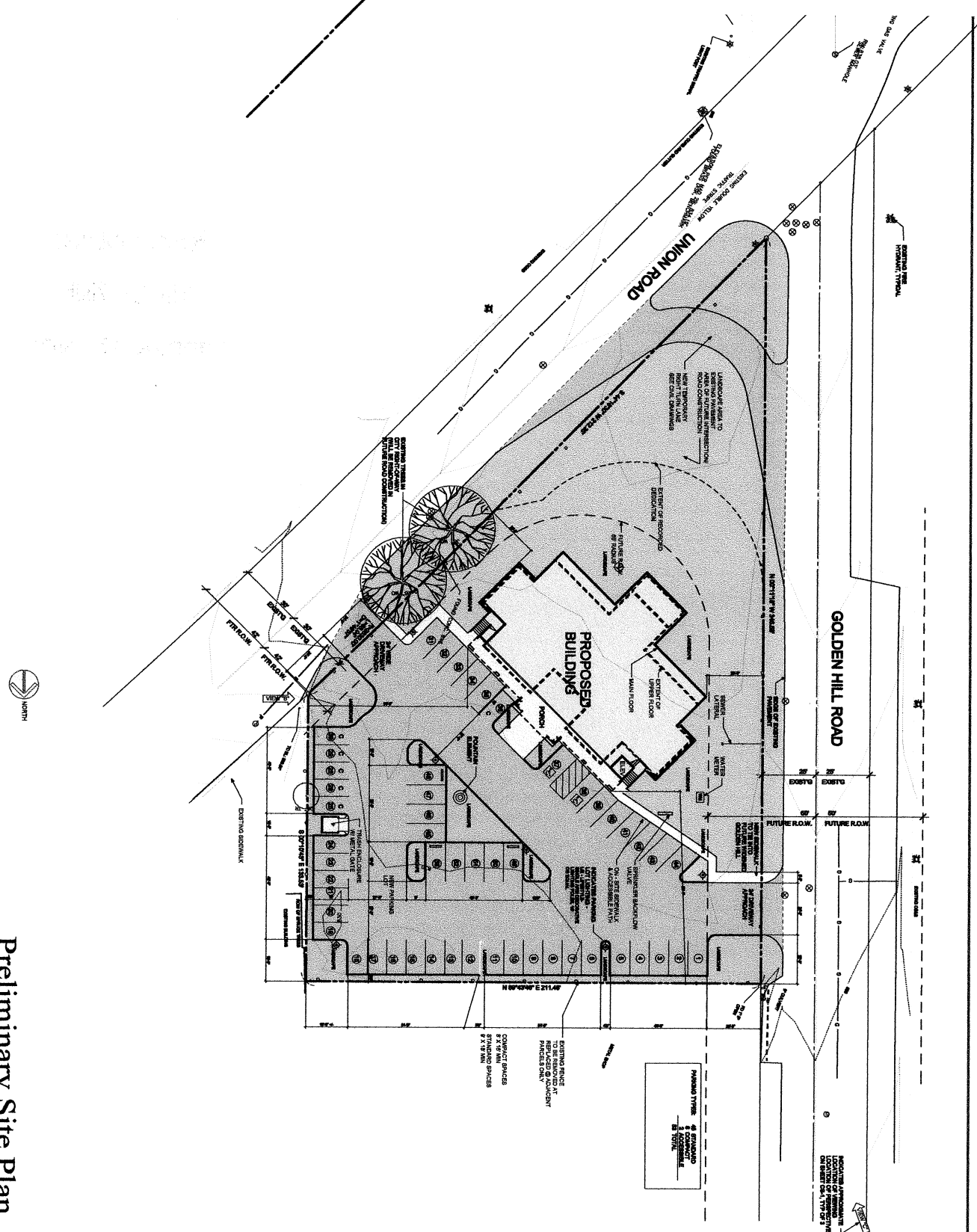
**Staff Report Prepared By:** Susan DeCarli

**Attachments:**

1. Vicinity Map
2. Site Plan and Landscape Plan
3. Elevations
4. Initial Study
5. Resolution to Approve the Negative Declaration
6. Resolution to Approve PD 06-003
7. Memorandum from City Engineer
8. Newspaper and Mail Notice Affidavits



# Attachment 2 Site Plan and Landscape Plan



Preliminary Site Plan  
SCALE: 1" = 20'-0"

Revisions:

Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

Jeffrey Schneidereit ● Architects  
104 South Main Street  
Tempton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776

Paso Robles, California

SP-1  
SHEET 2 OF 8

**Tree Legend**

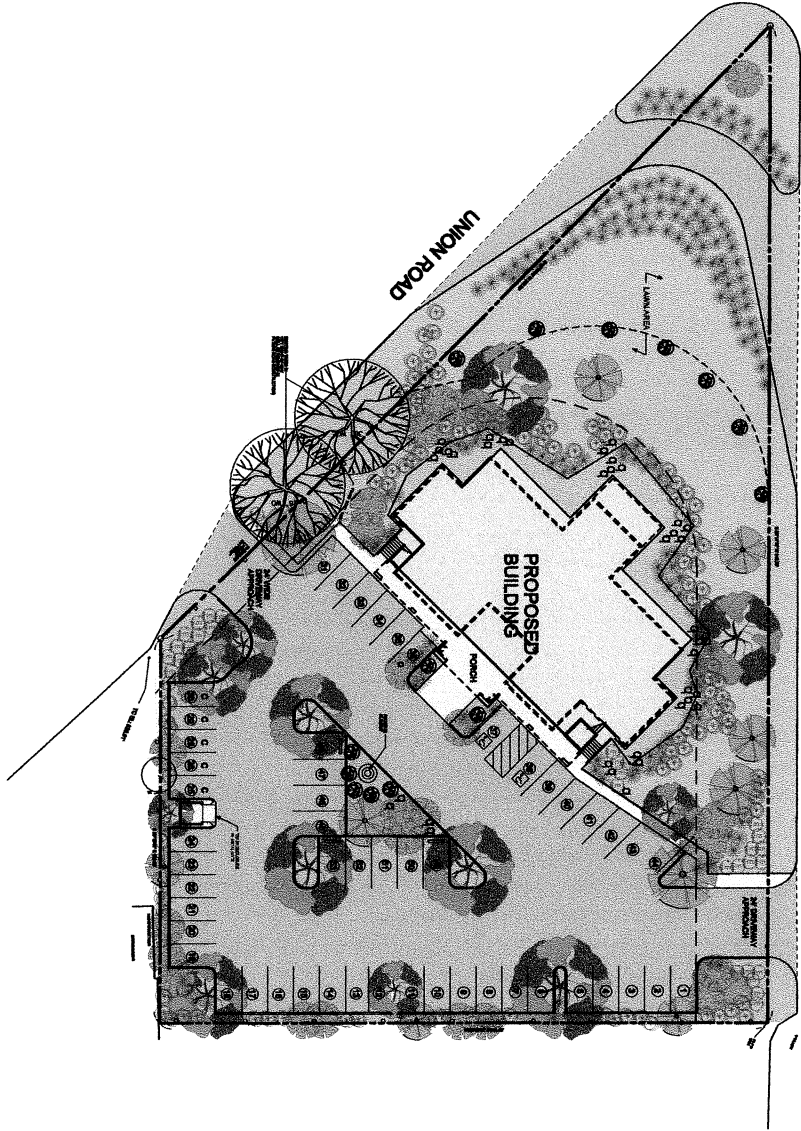
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**Shrubs and Ground Cover Legend**

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**LANDSCAPE PLAN NOTES**

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**Landscape Plan**

SCALE: 1"=20'-0"

SP-2  
SHEET 0 OF 6

Revisions:

**Office / Retail Building**  
 1100 Union Road at Golden Hill  
 Roger & Susan Sharp  
 Paso Robles, California

**Jeffrey Schneidereit Architects**  
 104 South Main Street  
 Templeton, CA 93465  
 Phone: 805 434-0777  
 Fax: 805 434-0776

# Attachment 3 Elevations

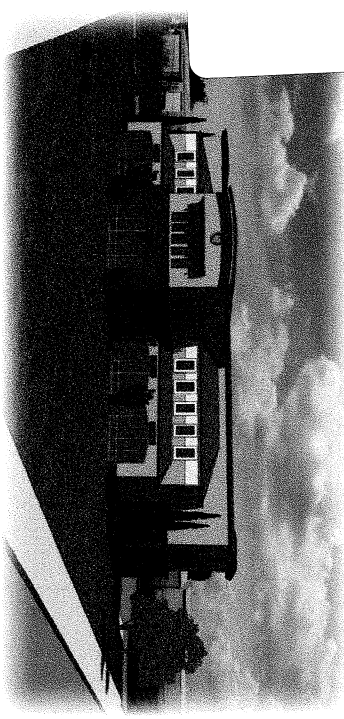


STORIES:	2 STORIES
CONSTRUCTION TYPE:	VAN
SPRINKLING:	YES
APPROVED OCCUPANCIES:	B, F, I, E, M, S, I, O, R, S, U
OCCUPANCIES:	NO SPECIAL PERMITS REQUIRED
LOWER FLOOR - RETAIL SALES:	1,100 S.F.
UPPER FLOOR - OFFICE SPACES:	5,000 S.F.
TOTAL PROPOSED AREA:	11,100 S.F.

<b>Project Data</b>	
ADDRESS:	COURTNEY LAY UNION ROAD PASO ROBLES, CALIFORNIA
APN:	026-00-0307
ZONE:	C3
PROJECT DESCRIPTION:	RETAIL SALES ON FIRST FLOOR OFFICE TENANTS ON UPPER FLOOR
LOT AREA:	1.18 ACRES +/- (90,039)
BLDG HEIGHT:	26'-0" +/- VP
BUILDING AREA:	11,100 S.F.
NEW AREA:	RETAIL SALES: 1,100 S.F. OFFICE SPACES: 5,000 S.F. TOTAL PROPOSED AREA: 11,100 S.F.

<b>Contact Information</b>	
ARCHITECT:	JEFF SCHNEIDERIT ARCHITECTS 101 S. MAIN STREET PASO ROBLES, CA 93646 805.434.0777
CIVIL ENGINEER:	JOE COQUARD, P.E. 780 BRIDGEMAN AVENUE PASO ROBLES, CA 93646 805.434.0777

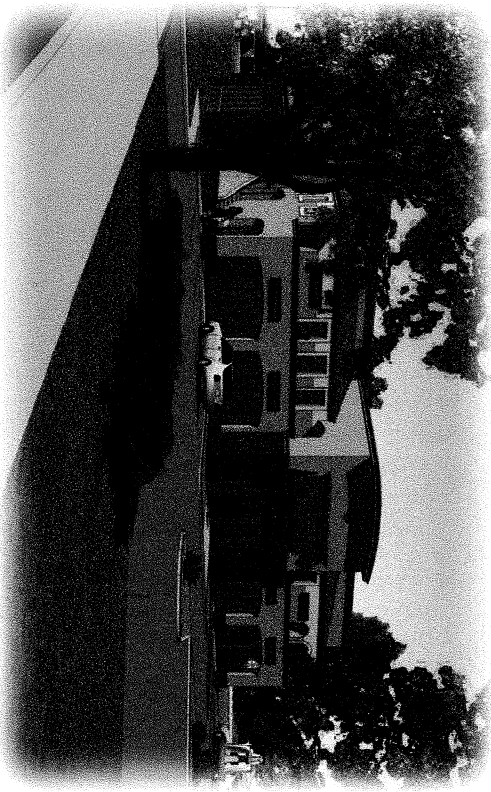
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SR-1 Site Plan	2 of 5
SR-2 Preliminary Landscape Plan	3 of 5
A-1 Exterior Elevation	4 of 5
A-2 Elevations	5 of 5



**A** View North from opposite street corner  
SEE SITE PLAN FOR VIEW LOCATION



**C** View South from Golden Hill Road  
SEE SITE PLAN FOR VIEW LOCATION



**B** View West from property corner across parking lot  
SEE SITE PLAN FOR VIEW LOCATION

1100 Union Road  
Pasadena, California

Jeffrey Schneiderit ● Architects  
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Templeton, CA 93665  
Phone: 805 434-0777  
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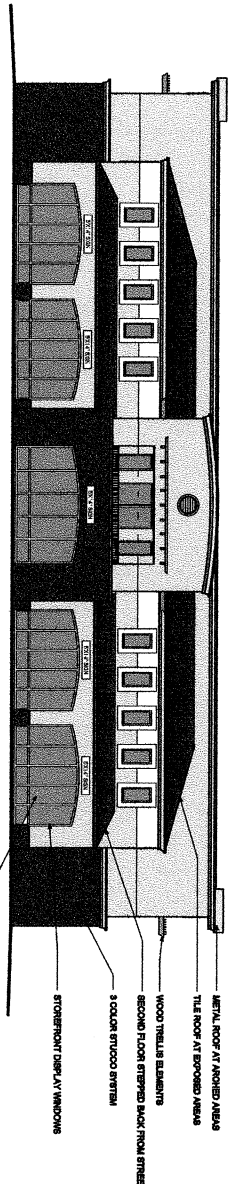
Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

Revisions:

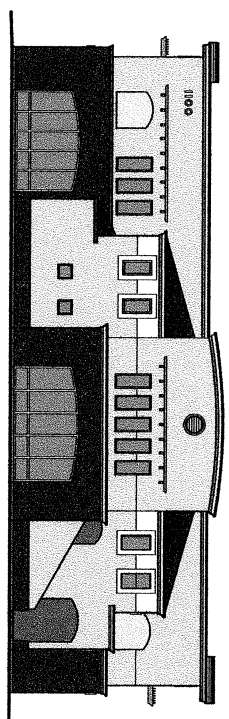
CS-1  
SHEET 07 OF 5

**Color and Material Schedule**

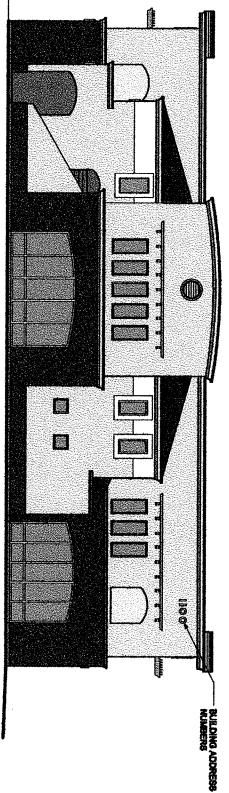
MATERIAL	DESCRIPTION	COLOR
MAIN BODY	STUCCO	SHENWIN WILLIAMS SW117 (DARKER TONE)
TILE	STUCCO	SHENWIN WILLIAMS SW121 (DARKER TONE)
STAIRS	ALUMINUM	FACTORY
WINDINGS	ALUMINUM	FACTORY
ROOFING	CLAY TILE	SHENWIN WILLIAMS SW123 (DARKER TONE)
WOOD TRIM	WOOD TRIM	SHENWIN WILLIAMS SW124 (DARKER TONE)
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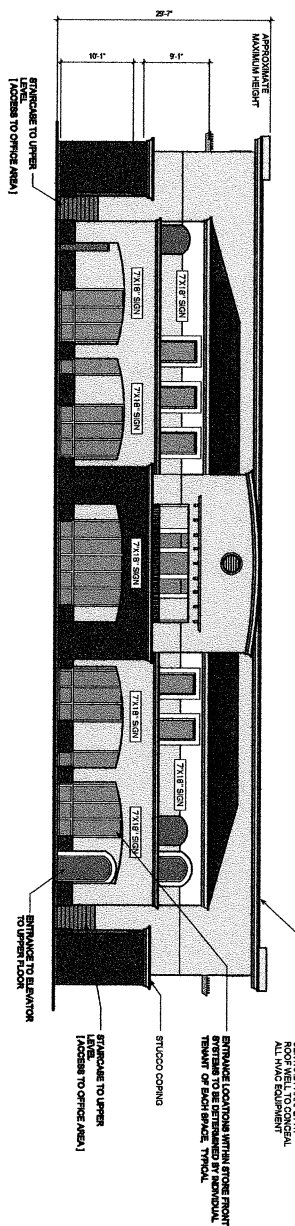
Southwest - Elevation to Corner



Southeast - Side Elevation



Northwest - Side Elevation



Northeast - Parking Lot

**Preliminary Exterior Elevations**

SCALE: 1/8" = 1'-0"

A-2  
SHEET 3 OF 3

Revisions:

**Office / Retail Building**  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

**Jeffrey Schneiderit Architects**  
104 South Main Street  
Templeton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776

Paso Robles, California



# CITY OF PASO ROBLES – PLANNING DIVISION INITIAL STUDY

## 1. GENERAL PROJECT INFORMATION

**PROJECT TITLE:** Planned Development 06-003

**LEAD AGENCY:** City of Paso Robles - 1000 Spring Street, Paso Robles, CA 93446

**Contact:** Susan DeCarli, AICP, City Planner  
**Telephone:** (805) 237-3970

**PROJECT LOCATION:** 1100 Union Road (APN 025-403-037)

**PROJECT PROPONENT:** Applicant: Roger Sharp  
P.O. Box 3767, Paso Robles, CA 93447  
Representative: Jeff Schneiderei, Architect

**LEAD AGENCY CONTACT/  
INITIAL STUDY PREPARED BY:** Susan DeCarli, AICP, City Planner

**Telephone:** (805) 237-3970  
**Facsimile:** (805) 237-3904  
**E-Mail:** sdecarli@prcity.com

**GENERAL PLAN DESIGNATION:** Commercial Service (CS)

**ZONING:** Commercial/Light Manufacturing (C3)

## 2. PROJECT DESCRIPTION

The proposed project is a request for a Planned Development application for a two-story, 11,100 s.f. commercial retail/office building. The site is located at the northeast quadrant of the intersection of Union and Golden Hill Roads. The proposed building footprint is located out of the future right-of-way area that will be needed for the road improvements forthcoming at this location. See Attachment 1.

There are two existing oak trees near the southern property line, with critical root zones (CRZ) that extend onto the project site. These trees may be removed in the future when Union Road is improved however, at the present time, the trees will remain. The arborist report incorporates tree protection measures for the proposed project. The building is proposed to be located out of the CRZ. There are no other significant natural resources on or near the project site. See Attachment 2.

The building design incorporates “4-sided” architecture with architectural details and window openings on all sides. The entrances to the units are proposed to be accessed from the parking lot on the interior side of the property. There is a mixture of commercial and light industrial uses in the vicinity surrounding the project site.

## 3. OTHER AGENCIES WHOSE APPROVAL MAY BE REQUIRED (For example, issuance of permits, financing approval, or participation agreement):

None.

**4. EARLIER ENVIRONMENTAL ANALYSIS AND RELATED ENVIRONMENTAL DOCUMENTATION:**

This Initial Study incorporates by reference the City of El Paso de Robles General Plan Environmental Impact Report (EIR) (SCH#2003011123).

**5. CONTEXT OF ENVIRONMENTAL ANALYSIS FOR THE PROJECT:**

This Initial Study relies on expert opinion supported by the facts, technical studies, and technical appendices of the City of El Paso de Robles General Plan EIR. These documents are incorporated herein by reference. They provide substantial evidence to document the basis upon which the City has arrived at its environmental determination regarding various resources.

**6. PURPOSES OF AN INITIAL STUDY**

The purposes of an Initial Study for a Development Project Application are:

- A. To provide the City with sufficient information and analysis to use as the basis for deciding whether to prepare an Environmental Impact Report, a Mitigated Negative Declaration, or a Negative Declaration for a site specific development project proposal;
- B. To enable the Applicant of a site specific development project proposal or the City as the lead agency to modify a project, mitigating adverse impacts before an Environmental Impact Report is required to be prepared, thereby enabling the proposed Project to qualify for issuance of a Negative Declaration or a Mitigated Negative Declaration;
- C. To facilitate environmental assessment early in the design of a project;
- D. To eliminate unnecessary EIRs;
- E. To explain the reasons for determining that potentially significant effects would not be significant;
- F. To determine if a previously prepared EIR could be used for the project;
- G. To assist in the preparation of an Environmental Impact Report if one is required; and
- H. To provide documentation of the factual basis for the finding of no significant effect as set forth in a Negative Declaration or a Mitigated Negative Declaration prepared for the a project.

**7. EXPLANATION OF ANSWERS FOUND ON THE ENVIRONMENTAL CHECKLIST FORM**

**A. Scope of Environmental Review**

This Initial Study evaluates potential impacts identified in the following checklist.

**B. Evaluation of Environmental Impacts**

- 1. A brief explanation is required for all answers to the questions presented on the following Environmental Checklist Form, except where the answer is that the proposed project will have “No Impact.” The “No Impact” answers are to be adequately supported by the information sources cited in the parentheses following each question or as otherwise explained in the introductory remarks. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to the project. A “No Impact” answer should be explained where it is based on project-specific factors and/or general standards. The basis for the “No Impact” answers on the

*Initial Study-Page 2*

following Environmental Checklist Form is explained in further detail in this Initial Study in Section 9 (Earlier Environmental Analysis and Related Environmental Documentation) and Section 10 (Context of Environmental Analysis for the Project).

2. All answers on the following Environmental Checklist Form must take into account the whole action involved with the project, including implementation. Answers should address off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. “Potentially Significant Impact” is appropriate, if an effect is significant or potentially significant, or if the lead agency lacks information to make a finding of insignificance. If there are one or more “Potentially Significant Impact” entries when the determination is made, preparation of an Environmental Impact Report is warranted.
4. Potentially Significant Impact Unless Mitigated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level. Mitigation Measures from Section 9 (Earlier Environmental Analysis and Related Environmental Documentation) may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). See Section 4 (Earlier Environmental Analysis and Related Environmental Documentation) and Section 11 (Earlier Analysis and Background Materials) of this Initial Study.
6. References to the information sources for potential impacts (e.g., general plans, zoning ordinances) have been incorporated into the Environmental Checklist Form. See Section 11 (Earlier Analysis and Related Environmental Documentation). Other sources used or individuals contacted are cited where appropriate.
7. The following Environmental Checklist Form generally is the same as the one contained in Title 14, California Code of Regulations; with some modifications to reflect the City’s needs and requirements.
8. Standard Conditions of Approval: The City imposes standard conditions of approval on Projects. These conditions are considered to be components of and/or modifications to the Project and some reduce or minimize environmental impacts to a level of insignificance. Because they are considered part of the Project, they have not been identified as mitigation measures. For the readers’ information, the standard conditions identified in this Initial Study are available for review at the Community Development Department.
9. Certification Statement: The statements made in this Initial Study and those made in the documents referenced herein present the data and information that are required to satisfy the provisions of the California Environmental Quality Act (CEQA) – Statutes and Guidelines, as well as the City’s Procedures for Implementing CEQA. Further, the facts, statements, information, and analysis presented are true and correct in accordance with standard business practices of qualified professionals with expertise in the development review process, including building, planning, and engineering.

**8. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The proposed project may potentially affect the environmental factors checked below, and may involve at least one impact that is a “Potentially Significant Impact” or is “Potentially Significant Unless Mitigated,” if so indicated on the following Environmental Checklist Form (Pages 8 to.15)

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Land Use & Planning  | <input type="checkbox"/> Transportation/Circulation         | <input type="checkbox"/> Public Services             |
| <input type="checkbox"/> Population & Housing | <input type="checkbox"/> Biological Resources               | <input type="checkbox"/> Utilities & Service Systems |
| <input type="checkbox"/> Geological Problems  | <input type="checkbox"/> Energy & Mineral Resources         | <input type="checkbox"/> Aesthetics                  |
| <input type="checkbox"/> Water                | <input type="checkbox"/> Hazards                            | <input type="checkbox"/> Cultural Resources          |
| <input type="checkbox"/> Air Quality          | <input type="checkbox"/> Noise                              | <input type="checkbox"/> Recreation                  |
|   | <input type="checkbox"/> Mandatory Findings of Significance |  |

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**9. ENVIRONMENTAL DETERMINATION:** On the basis of this initial evaluation: I find that:

The proposed project could not have a significant effect on the environment; and, therefore, a **NEGATIVE DECLARATION** will be prepared.

Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. Therefore, a **MITIGATED NEGATIVE DECLARATION** will be prepared.

The proposed project may have a significant effect on the environment; and, therefore an **ENVIRONMENTAL IMPACT REPORT** is required.

The proposed project may have a significant effect(s) on the environment, but one or more effects (1) have been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) have been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a “potentially significant impact” or is “potentially significant unless mitigated.”

Therefore, an **ENVIRONMENTAL IMPACT REPORT** is required, but it will analyze only the effect or effects that remain to be addressed.

\_\_\_\_\_  
Signature:

\_\_\_\_\_  
Date:

September 1, 2006

\_\_\_\_\_  
Susan DeCarli, AICP, City Planner

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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**I. LAND USE AND PLANNING.** Would the Proposal:

- a) Conflict with general plan designation or zoning?  
(Sources: 1 & 8)

*Discussion: The proposed project is consistent with the intent of the Commercial Service land use designation of the General Plan and Commercial/Light Industrial zoning district since it is a proposal for commercial development project.*

- b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?  
(Sources: 1 & 3)

*Discussion: The proposed project complies with the EIR recently certified for the City General Plan Update, 2003 and other adopted environmental policies that apply to this project.*

- c) Be incompatible with existing land uses in the vicinity?  
(Sources: 1 & 3)

*Discussion: The surrounding uses include a mix of commercial and light industrial uses, therefore the proposed development would be compatible with land uses in the vicinity.*

- d) Affect agricultural resources or operations (e.g., impacts to soils or farmlands, or impacts from incompatible uses)?

*Discussion: The project site is an urban infill property with no agricultural uses, resources or operations on near the property.*

- e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?  
(Sources: 1 & 3)

*Discussion: The project is proposed on an infill lot and will not disrupt or divide the established community.*

**II. POPULATION AND HOUSING.** Would the proposal:

- a) Cumulatively exceed official regional or local population projections? (Sources: 1 & 3)

*Discussion: The proposed project is consistent with the build-out alternative planned for and evaluated in the General Plan Update, 2003 and EIR. It is not large enough to result in creating significant cumulative population growth impacts.*

- b) Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)? (Sources: 1 & 3)

*Discussion: This is an existing infill property. The project will not extend major infrastructure that would induce*

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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*substantial growth since there are existing services and infrastructure surrounding the property.*

- c) Displace existing housing, especially affordable housing?
- (Sources: 1, 3, & 5)

*Discussion: The site is currently vacant, thus the project will not displace existing housing.*

**III. GEOLOGIC PROBLEMS.** Would the proposal result in or expose people to potential impacts involving:

- a) Fault rupture? (Sources: 1, 2, & 3)

*Discussion: The potential for and mitigation of impacts that may result from fault rupture in the project area are identified and addressed in the General Plan EIR, pg. 4.5-8. There are two known fault zones on either side of this valley. The Rinconada Fault system runs on the west side of the valley. The San Andreas Fault is on the east side of the valley and runs through the community of Parkfield east of Paso Robles. The City of Paso Robles recognizes these geologic influences in the application of the Uniform Building Code to all new development within the City. Review of available information and examinations indicate that neither of these faults is active with respect to ground rupture in Paso Robles. Soils reports and structural engineering in accordance with local seismic influences would be applied in conjunction with any new development proposal. Based on standard conditions of approval, the potential for fault rupture and exposure of persons or property to seismic hazards is not considered significant. In addition, per requirements of the Alquist-Priolo Earthquake Fault Zones, only structures for human habitation need to be setback a minimum of 50 feet of a known active trace fault.*

- b) Seismic ground shaking? (Sources: 1, 2, & 3)

*Discussion: The City is located within an active earthquake area that could experience seismic ground shaking from the Rinconada and San Andreas Faults. The proposed structure will be constructed to current UBC codes. The General Plan EIR identified impacts resulting from ground shaking as less than significant and provided mitigation measures that will be incorporated into the design of this project including adequate structural design and not constructing over active or potentially active faults.*

- c) Seismic ground failure, including liquefaction?
- (Sources: 1, 2 & 3)

*Discussion: Per the General Plan EIR, the project site is located in an area with soil conditions that have a potential for liquefaction or other type of ground failure due to seismic events due to soil conditions. The EIR identifies measures to reduce this potential impact, which will be incorporated into this project. This includes a requirement to conduct a site-specific analysis of liquefaction potential. Based on analysis results, the project design and construction will include specific design requirements to reduce the potential impacts on structures due to liquefaction to a less than significant level.*

- d) Seiche, tsunami, or volcanic hazard? (Sources: 1, 2, & 3)     Formatted: Bullets and Numbering

- e) Landslides or Mudflows? (Sources: 1, 2, & 3)     Formatted: Bullets and Numbering

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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*Discussion: d. and e. The project site is not located near bodies of water or volcanic hazards, nor is the site located in an area subject to landslides or mudflows.*

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) Erosion, changes in topography or unstable soil conditions from excavation, grading, or fill? (Sources: 1, 2, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

*Discussion: Per the General Plan EIR the soil condition is not erosive or otherwise unstable. As such, no significant impacts are anticipated. The site is relatively flat and will need minimal grading*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Subsidence of the land? (Sources: 1, 2, & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

*Discussion: See Item c.*

- |                                  |                          |                          |                                     |                          |
|----------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| h) Expansive soils? (Sources: 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

*Discussion: Per the General Plan EIR, Paso Robles is an area that has moderately expansive soils. This issue will be addressed through implementation of appropriate soil preparation as determined necessary by recommendations of site specific soils report. Therefore, impacts related to expansive soils will be less than significant.*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| i) Unique geologic or physical features? (Sources: 1 & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

*Discussion: There are no unique geologic or physical features on or near the project site.*

**IV. WATER.** Would the proposal result in:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

*Discussion: The project will increase the amount of surface runoff, however this runoff can largely be addressed by the applicant providing onsite retention by directing runoff to landscape areas and a subsurface basin which will help provide groundwater recharge. This is also important so that runoff is not directed to Hwy. 46. This facility will be incorporated into the project, therefore runoff and absorption rate impacts will be less than significant.*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Exposure of people or property to water related hazards such as flooding? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

*Discussion: There is no potential to expose people or property to water related hazards due to this project since it is not in a flood zone.*

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Discharge into surface waters or other alteration of surface water quality (e.g., temperature, dissolved oxygen or turbidity)? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

*Discussion: There are no surface wates near the project site that could result in changes from discharge.*

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Changes in the amount of surface water in any water body? (Sources: 1, 3, & 7)  <i>Discussion: There is no water body on or near the project site.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Changes in currents, or the course or direction of water movement? (Sources: 1, 3, & 7)  <i>Discussion: This project could not result in changes in currents or water movement since there is no water course in the vicinity that could be affected by this project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability? (Sources: 1,3, & 7)  <i>Discussion: The proposed project does not directly withdraw water resources. The project is consistent with the build-out scenario in the General Plan and planned water use and reserve capacity.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Altered direction or rate of flow of groundwater? (Sources: 1, 3, & 7)  <i>Discussion: This project could not result in alterations to the direction or rate of groundwater flow since this project does not directly extract groundwater or otherwise significantly affect these resources.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Impacts to groundwater quality? (Sources: 1, 3, & 7)  <i>Discussion: The project will not affect groundwater quality since this project does not directly extract groundwater or otherwise affect these resources, and the proposed uses do not utilize materials or methods that would result in reduced groundwater quality. This project will not change existing water quality from discharging in surface waters with implementation of standard storm water discharge infrastructure that is in compliance with the National Pollution Discharge Elimination System (NPDES) requirements.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Substantial reduction in the amount of groundwater otherwise available for public water supplies? (Sources: 1, 3, & 7)  <i>Discussion: Refer to response f.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**V. AIR QUALITY.** Would the proposal:

- a) Violate any air quality standard or contribute to an existing or



**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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projected air quality violation? (Sources: 1, 3, & 7)

*Discussion: The City obtained an air pollution emissions evaluation from the SLO Co. Air Pollution Control District (APCD). The results from the APCDs analysis indicates that neither the construction phase or operations would be above the APCDs adopted threshold of significance. The APCD also noted that the proposed project is in compliance with San Luis Obispo County Clean Air Plan (CAP). See Attachment 3, APCD comment letter*

- b) Expose sensitive receptors to pollutants? (Sources: 1, 3, & 7)

*Discussion: There are no sensitive receptors such as schools, hospitals, etc. within the near vicinity that could be impacted by this project.*

- c) Alter air movement, moisture, or temperature? (Sources: 1, 3, & 7)

*Discussion: This project does not have the potential to significantly alter air movement, moisture, or temperature since the project is a small scale infill project.*

- d) Create objectionable odors?

*Discussion: Given the nature of the proposed uses, this project does not generally have the potential to create objectionable odors.*

**VI. TRANSPORTATION/CIRCULATION.** Would the proposal result in:

- a) Increased vehicle trips or traffic congestion? (Sources: 1, 3, & 7)

*Discussion: The proposed project is projected to result in approximately 261 average daily trips, 41 am peak hour trips, and 32 pm peak hour trips. The intersection at Golden Hill and Union Roads is currently being redesigned to address existing and cumulative traffic impacts. The level of peak hour trips are not considered significant and can be accommodated with the redesign and the capacity increase that will become available at this intersection. The applicant will be required to pay traffic impact fees to mitigate traffic impacts from this project.*

- b) Hazards to safety from design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (Sources: 1, 3, & 7)

*Discussion: The proposed project does not include road improvements that may result in safety hazards or in incompatible uses.*

- c) Inadequate emergency access or inadequate access to nearby uses? (Sources: 1, 3, & 7)

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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*Discussion: The project is adequately served by public streets for emergency services. An ingress and egress is proposed along both property frontages to access the parking lot located to the interior/rear of the site.*

- d) Insufficient parking capacity on-site or off-site?  
(Sources: 1, 3, 7, & 8)

*Discussion: Per the Zoning Ordinance requirements, the site plan parking lot design and number of parking spaces complies with the Ordinance requirements for the proposed uses. The project will result in the need for 53 parking spaces, which are provided on-site.*

- e) Hazards or barriers for pedestrians or bicyclists?  
(Source: 7)

*Discussion: The project does not have hazards or barriers for pedestrians or bicyclists.*

- f) Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)?  
(Sources: 1 & 8)

*Discussion: The project would not conflict with or otherwise affect adopted policies supporting alternative transportation.*

- g) Rail, waterborne or air traffic impacts?

*Discussion: The project could not affect rail, waterborne or air traffic.*

**BIOLOGICAL RESOURCES.** Would the proposal result in impacts to:

- Endangered, threatened or rare species or their habitats (including but not limited to: plants, fish, insects, animals, and birds)?

*Discussion: There are no endangered, threatened or rare species or their habitats located on the project site. The property is currently developed with residences. Thus, there could not be potential impacts to endangered, threatened or rare species or their habitats.*

- b) Locally designated species (e.g., heritage trees)?

*Discussion: There are no locally designated species, including oak trees on the project site, however the critical root zone of 2 oak trees on the frontage of Union Road will be protected with tree protection measures included in the arborist report, see Attachment 2.*

- c) Locally designated natural communities (e.g., oak forest, coastal habitat, etc.)?

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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*Discussion: See item b. above.*

- d) Wetland habitat (e.g., marsh, riparian and vernal pool)?

*Discussion: There are no wetland habitats on or near the project site.*

- e) Wildlife dispersal or migration corridors?

*Discussion: The site is not part of a wildlife dispersal or migration corridor.*

**VIII. ENERGY AND MINERAL RESOURCES.** Would the proposal:

- a) Conflict with adopted energy conservation plans? (Sources: 1 & 7)

*Discussion: The structures will be designed and constructed according to applicable UBC codes and Title 24 energy conservation requirements, thus it will not conflict with adopted energy conservation plans.*

- b) Use non-renewable resources in a wasteful and inefficient manner? (Sources: 1 & 7)

*Discussion: The project will not use non-renewable resource in a wasteful and inefficient manner.*

- c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State? (Sources: 1 & 7)

*Discussion: The project is not located in an area of a known mineral resources that would be of future value to the region and the residents of the State.*

**IX. HAZARDS.** Would the proposal involve:

- a) A risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?

*Discussion: The project will not result in a risk of accidental explosion or release of hazardous substances since the uses do not generally use these types of substances.*

- b) Possible interference with an emergency response plan or emergency evacuation plan? (Sources: 1 & 7)

*Discussion: The project will not interfere with an emergency response plan or emergency evacuation plan since it is not a designated emergency response location to be used for staging or other uses in an emergency.*

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) The creation of any health hazard or potential hazards?

*Discussion: The project and future uses will not likely result in creating any health or other hazards.*

- d) Increased fire hazard in areas with flammable brush, grass, or trees?

*Discussion: The project site is not located in an area with the potential for increased fire hazards.*

**X. NOISE.** Would the proposal result in:

- a) Increases in existing noise levels? (Sources: 1, 7, & 8)

*Discussion: The project will not likely result in a significant increase in operational noise levels. It may result in short-term construction noise. However, construction noise will be limited to specific daytime hours per city regulations.*

- b) Exposure of people to severe noise levels? (Source: 3)

*The project site is not located in the vicinity where it would expose people to severe noise levels.*

**XI. PUBLIC SERVICES.** Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:

- a) Fire protection? (Sources: 1, 3, 6, & 7)
- b) Police Protection? (Sources: 1, 3, & 7)
- c) Schools? (Sources: 1, 3, & 7)
- d) Maintenance of public facilities, including roads? (Sources: 1, 3, & 7)
- e) Other governmental services? (Sources: 1,3, & 7)

*Discussion: a.-e. The project applicant will be required to pay development impact fees as established by the city per AB 1600 to mitigate impacts to public services.*

**XII. UTILITIES AND SERVICE SYSTEMS.** Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:

- a) Power or natural gas? (Sources: 1, 3, & 7)
- b) Communication systems? (Sources: 1, 3, & 7)

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Local or regional water treatment or distribution facilities? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Sewer or septic tanks? (Sources: 1, 3, 7, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Storm water drainage? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Solid waste disposal? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Local or regional water supplies? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Discussion: a.-g. The project will not result in the need for new systems or supplies, or result in substantial alterations to utilities and service systems.*

**XIII. AESTHETICS.** Would the proposal:

a) Affect a scenic vista or scenic highway? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a demonstrable negative aesthetic effect? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Create light or glare? (Sources: 1, 3, 7, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Discussion: The project is not located in a scenic vista or scenic highway area.*

*Discussion: The project is proposed to be designed with high quality materials and architectural design that is suitable to the site and will complement the surrounding area, and will not have a demonstrable negative aesthetic effect.*

*Discussion: All light fixtures will be shielded and downcast as required per city regulations.*

**XIV. CULTURAL RESOURCES.** Would the proposal:

a) Disturb paleontological resources? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Disturb archaeological resources? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Affect historical resources? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Discussion: a.-b. The project site is not located in an area with know paleontological or archaeological resources. If these types of resources are found during grading and excavation, appropriate procedures will be followed including halting activities and contacting the County Coroner, and follow standard mitigation procedures.*

*Discussion: There are no existing historical resources on the project site.*

**10 Environmental Checklist Form**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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- d) Have the potential to cause a physical change which would affect unique ethnic cultural values? (Sources: 1, 3, & 7)

*Discussion: The project is not proposed in a location where it could affect unique ethnic cultural values.*

- e) Restrict existing religious or sacred uses within the potential impact area? (Sources: 1, 3, & 7)

*Discussion: Discussion: There are no known religious or sacred uses on or near the project site.*

**XV.RECREATION.** Would the proposal:

- a) Increase the demand for neighborhood or regional parks or other recreational facilities? (Sources: 1, 3, & 7)

*Discussion: The project will not significantly affect the demand for parks and recreational facilities. The project complies with the build-out scenario of the General Plan which has adopted park and recreation facility thresholds per population. The applicant will need to pay associated park in-lieu fees for the residential units.*

- b) Affect existing recreational opportunities? (Sources 1, 3, & 7)

*Discussion: The project will not affect existing recreational opportunities.*

**MANDATORY FINDINGS OF SIGNIFICANCE.**

- Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Sources: 1 & 3)

*Discussion: The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory.*

- Does the project have the potential to achieve short-term, to the disadvantage of long-term environmental goals? (Sources: 1 & 3)

*Discussion: The project will not likely have a potential to achieve short-term, to the disadvantage of long-term environmental goals.*

- Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are

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## 10 Environmental Checklist Form

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) (Sources: 1 & 3)

*Discussion: The project will not result in significant cumulative impacts.*

Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly? (Sources: 1 & 3)

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*Discussion: The project will not result in substantial adverse environmental impacts on human beings, either directly or indirectly.*

## 11. EARLIER ANALYSIS AND BACKGROUND MATERIALS

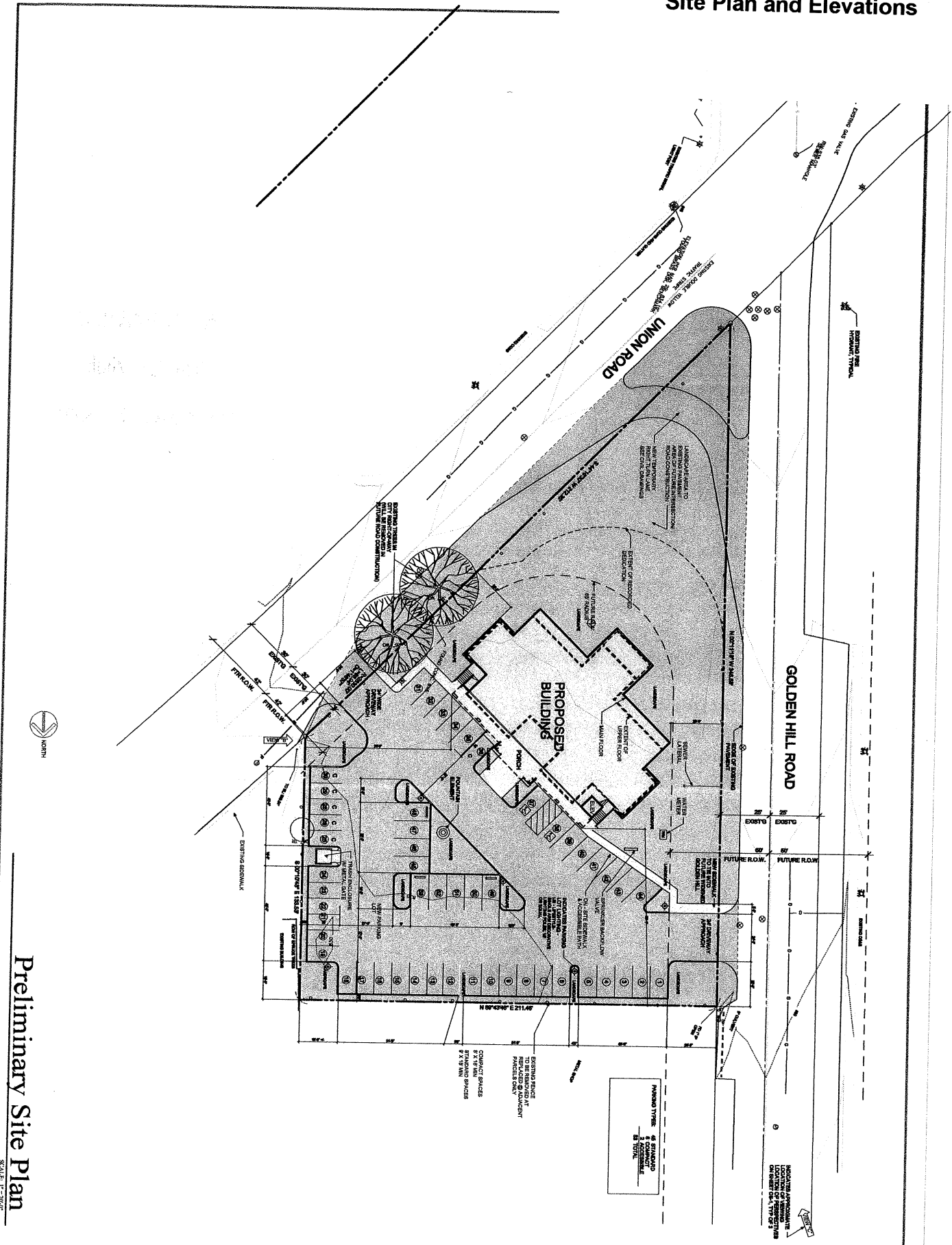
Earlier analyses may be used where, pursuant to tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D). The earlier documents that have been used in this Initial Study are listed below.

<b>Reference Number</b>	<b>Document Title</b>	<b>Available for Review At</b>
1	City of Paso Robles General Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
2	Seismic Safety Element for City of Paso Robles	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
3	Final Environmental Impact Report City of Paso Robles General Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
4	Soil Survey of San Luis Obispo County, California Paso Robles Area	USDA-NRCS, 65 Main Street-Suite 108 Templeton, CA 93465
5	Uniform Building Code	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
6	City of Paso Robles Standard Conditions of Approval For New Development	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
7	City of Paso Robles Zoning Code	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
8	City of Paso Robles, Water Master Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
9	City of Paso Robles, Sewer Master Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
10	Federal Emergency Management Agency Flood Insurance Rate Map	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446

### **Attachments:**

- 1 – Site Plan and Elevations
- 2 – Arborist Report
- 3 – SLO County APCD Comments





Preliminary Site Plan

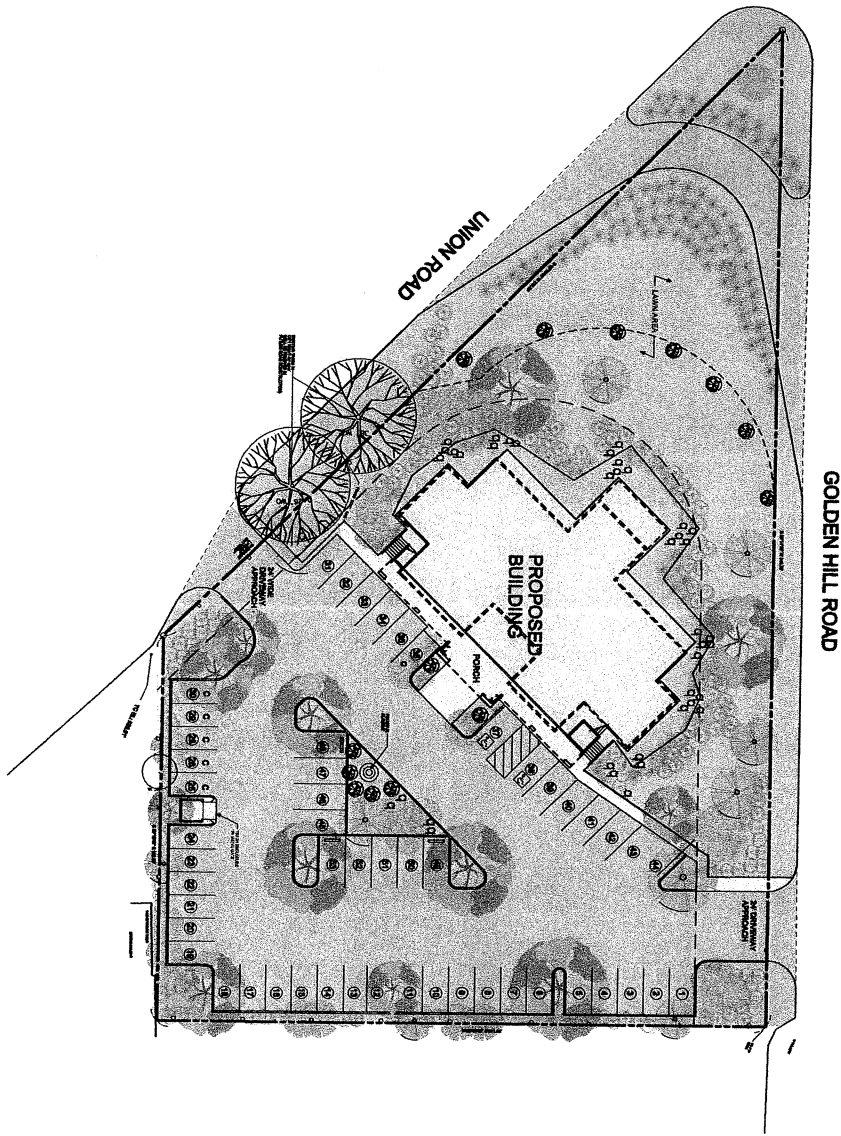
SCALE: 1" = 20'-0"

SP-1  
SHEET 2 OF 4

Revisions:

Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp  
Paso Robles, California

Jeffrey Schneidreid Architects  
104 South Main Street  
Templeton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776



- Tree Legend**
- PINUS MONMOUTHANUS
  - QUERCUS TRUCULANTHOS
  - QUERCUS TRUCULANTHOS
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- Shrubs and Ground Cover Legend**
- CENTAUREA CYANEA
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**LANDSCAPE PLAN NOTES**

1. LANDSCAPE PLAN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
4. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



Landscape Plan

SCALE: 1"=20'-0"

SP-2  
SHEET 3 OF 5

Revisions:

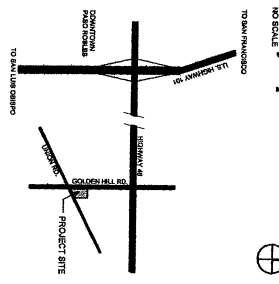
Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

Jeffrey Schneidereit & Architects  
104 South Main Street  
Templeton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776

Paso Robles, California

California Architects License: C-32254  
Professional Seal: Jeffrey Schneidereit, AIA  
Date: 1/2/2006

**Utility Map**



**STORIES:** 2 STORIES

**CONSTRUCTION TYPE:** V-M

**SPRINKLER:** YES

**APPROVED OCCUPANCIES:** R-1, F.A. M, S.A. S, S.A.

**OCCUPANCIES:** NO SPECIAL SEPARATION REQUIRED

**AREA:** OCCUPANTS: RETRO PROVIDED

LOWER FLOOR - RETAIL SALES:	6,100 S.F.	209 (MAX)	21.2 MIN
UPPER FLOOR - OFFICE SPACES:	5,000 S.F.	57	21.2
<b>TOTAL:</b>	<b>11,100 S.F.</b>		

**Project Data**

ADDRESS:	1100 UNION ROAD	COUNTY:	SAN BENITO COUNTY
CITY:	PASO ROBLES, CALIFORNIA	APN:	025-409-037
ZONE:	C-3	PROJECT DESCRIPTION:	RETAIL SPACES ON FIRST FLOOR OFFICE SPACES ON UPPER FLOOR
LOT AREA:	1.18 ACRES (41,000 S.F.)	BUILDING AREA:	11,100 S.F.
BUILDING HEIGHT:	30'-6" (VP)	NEW AREA:	11,100 S.F.
LOWER FLOOR - RETAIL SALES:	6,100 S.F.	UPPER FLOOR - OFFICE SPACES:	5,000 S.F.
<b>TOTAL PROPOSED AREA:</b>	<b>11,100 S.F.</b>	<b>TOTAL PROPOSED AREA:</b>	<b>11,100 S.F.</b>

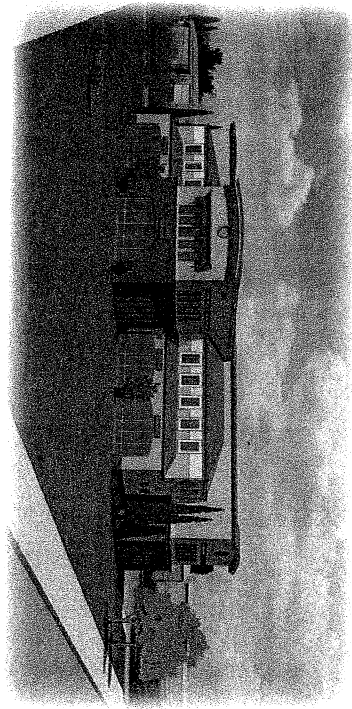
**Contact Information**

APPLICANT:	ROGER & SUSAN SHARP
OWNER:	PASO ROBLES, CA 93447
ARCHITECT:	JEFF SCHNEIDERT ARCHITECTS 104 SOUTH MAIN STREET TEMPLETON, CA 93465 855-434-0777
CIVIL ENGINEER:	JOE CHOUARD, P.E. JOHN A. CHOUARD, P.E. PASO ROBLES, CA 93446 805-258-9281

**Sheet Index**

Sheet	Description	Scale
CS-1	Cover Sheet	1/8"
SP-1	Site Plan	3/8"
SP-2	Preliminary Landscape Plan	3/8"
A-1	Floor Plans	1/4"
A-2	Excavation Elevation	1/4"
A-3	Excavation Section	1/4"

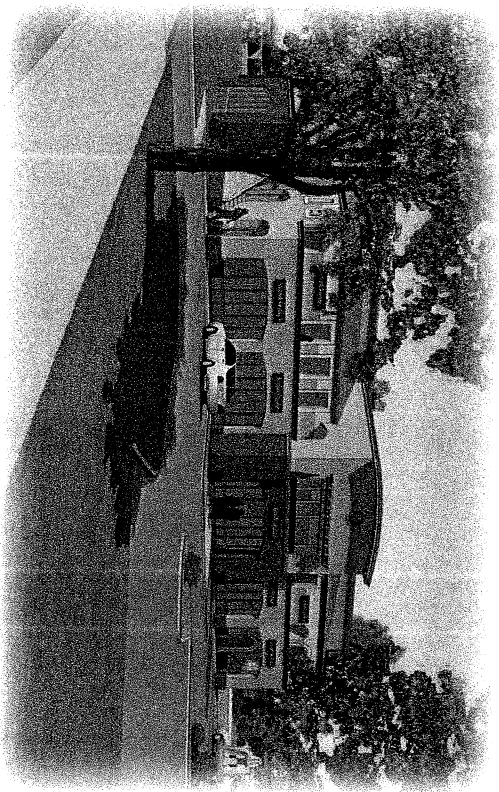
Preliminary Civil Engineering Drawings under separate cover.



**A** View North from opposite street corner  
SEE SITE PLAN FOR VIEW LOCATION



**C** View South from Golden Hill Road  
SEE SITE PLAN FOR VIEW LOCATION



**B** View West from property corner across parking lot  
SEE SITE PLAN FOR VIEW LOCATION

1100 Union Road  
Paso Robles, California

**Office / Retail Building**  
1100 Union Road at Golden Hill  
Roger & Susan Sharp  
Paso Robles, California

Jeffrey Schneidert Architects  
104 South Main Street  
Templeton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776

Jeffrey Schneidert  
**CS-1**  
SHEET 1 OF 5

Revisions:  
Job Number: 0381  
DATE: 12/20/06  
Scale: as indicated





March 20, 2006

Mr. Darren Nash, Associate Planner  
City of Paso Robles Community Development Department  
1000 Spring Street  
Paso Robles CA 93446

MAR 22 2006

Planning Division

SUBJECT: APCD Comments Regarding the Sharp Office/Retail Building Project (PD 06-003)

Dear Mr. Nash,

Thank you for including the San Luis Obispo County Air Pollution Control District (APCD) in the environmental review process. We have completed our review of the proposed development project to build an 11,900 square foot (SF), two story building on a 1 acre parcel at the intersection of Union Road at Golden Hill Road; 1100 Union Road. The building's ground floor would have 6,100 SF of retail businesses and the upper level would have 5,800 SF of offices. *The following are APCD comments that are pertinent to this project.*

#### GENERAL COMMENTS

##### Mixed Use Incompatibility

As individual projects move forward it is important to keep in mind that some uses may not be compatible and could result in potential nuisance problems (i.e. odors and/or dust). Therefore, it is essential that individual uses be carefully evaluated to determine if an APCD permit could be necessary. The following are examples of uses that could be problematic within mixed use developments:

- Nail salons;
- Dry-cleaners;
- Coffee roasters;
- Furniture refurbishing/refinishing; and,
- Any type of spray paint operation.

To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.

##### Infill within City Limits & URL

Allowing for infill within the Urban Reserve Line is consistent with the land use goals and policies of the APCD Clean Air Plan (CAP). The CAP was developed to address issues that contribute to poor air quality in our area, and to identify strategies to reduce those impacts; this includes land use policies designed to reduce reliance on the automobile, such as compact, infill and mixed-use development. These policies can reduce trips and travel distances and encourage the use of alternative forms of transportation.

We would like to commend the applicant on several elements of the project design:

1. The project provides development within the URL where such development is planned for and expected;
2. The proposed retail/office building is two stories, resulting in a higher density urban infill;

3. An important part of the commercial development review process is a consistency analysis with the CAP. The proposed commercial infill development project is consistent with the surrounding land uses and provides development where such development is planned and expected. The proposed project has been determined to be consistent with the CAP.

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significant thresholds for each. **Please address the action items contained in this letter that are highlighted by bold and underlined text.**

### **CONSTRUCTION PHASE MITIGATION**

#### Naturally Occurring Asbestos

The project site is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Under the ARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, **prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, an exemption request must be filed with the District (see Attachment 1). If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos ATCM.** This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. Please refer to the APCD web page at <http://www.slocleanair.org/business/asbestos.asp> for more information or contact Tim Fuhs of our Enforcement Division at 781-5912.

#### Dust Control Measures

The project as described in the referral will not likely exceed the APCD's CEQA significance threshold for construction phase emissions. However, construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. Dust complaints could result in a violation of the District's 402 "Nuisance" Rule. **APCD staff recommend the following measures be incorporated into the project to control dust:**

- Reduce the amount of the disturbed area where possible;
- Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- All dirt stock-pile areas should be sprayed daily as needed; and
- All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible, and building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

#### Developmental Burning

Effective February 25, 2000, **the APCD prohibited developmental burning of vegetative material within San Luis Obispo County.** Under certain circumstances where no technically

feasible alternatives are available, limited developmental burning under restrictions may be allowed. This requires prior application, payment of fee based on the size of the project, APCD approval, and issuance of a burn permit by the APCD and the local fire department authority. The applicant is required to furnish the APCD with the study of technical feasibility (which includes costs and other constraints) at the time of application. If you have any questions regarding these requirements, contact Karen Brooks of our Enforcement Division at 781-5912.

#### Construction Permit Requirements

Based on the information provided, we are unsure of the types of equipment that may be present during the project's construction phase. Portable equipment, 50 horsepower (hp) or greater, used during construction activities will require California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to page A-5 in the District's CEQA Handbook.

- Portable generators and equipment with engines that are 50 hp or greater; and,
- IC engines.

**To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

#### OPERATIONAL PHASE MITIGATION

The APCD staff considered the operational impact this development by running the URBEMIS2002 computer model, a tool for estimating vehicle travel, fuel use and the resulting emissions related to this project's land uses. This indicated that operational phase impacts will likely be less than the APCD's CEQA Tier I significance threshold value of 10 lbs of emissions per day. Therefore, with the exception of the requirements below, the APCD is not requiring other operational phase mitigation measures for this project.

#### Operational Permit Requirements

Based on the information provided, we are unsure of the types of equipment that may be present at the site. Operational sources may require APCD permits. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to page A-5 in the District's CEQA Handbook.

- Portable generators and equipment with engines that are 50 hp or greater;
- Food and beverage preparation (primarily coffee roasters);
- Furniture and fixture products;
- Auto and vehicle repair and painting facilities;
- Dry cleaning; and,
- IC engines.

**To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

**A & T ARBORIS**  
P.O. BOX 1311 TEMPLETON, CA 93465 (805)

**Tree Preservation Plan  
For  
Roger and Susan Sharp  
1100 Union Road  
Paso Robles**

Paso Robles  
SEP 14 2006  
Planning Division

**Prepared by A & T Arborists  
and Vegetation Management**

**Chip Tamagni  
Certified Arborist #WE 6436-A**

**Steven Alvarez  
Certified Arborist #WE 511-A**

Tract # \_\_\_\_\_

PD # \_\_\_\_\_

Building Permit # \_\_\_\_\_



Project Description: This project involves the proposed office retail building and associated parking lot located at the corner of Union Road and Golden Hill Road. There are two blue oak trees (*Quercus douglasii*) on the property. Both trees are adjacent to Union Road as shown on the plans. Tree #1 has been pruned for utility line clearance and has symptoms of oak anthracnose in addition to mistletoe. In addition, this tree has excessive deadwood. Tree #2 has also been pruned for utility clearance. This tree also has deadwood that needs removal. Landscaping is planned within the critical root zones of both trees, however, this will have to be mitigated (see below). The sidewalk construction will encroach approximately 5% into the critical root zone of tree #1.

Specific Mitigations Pertaining to the Project: Both trees shall have the canopies raised and deadwood removed prior to grading activities for the sidewalk and parking lot areas. The landscape shall be drought tolerant as described in the standard mitigations and any light grading within the critical root zones shall be completed by hand. There shall be no equipment grading within the critical root zone except for the sidewalk area only. There are no utilities shown within the critical root zone of either tree. Any changes will need arborist approval.

The term “critical root zone” or CRZ is an imaginary circle around each tree. The radius of this circle (in feet) is equal to the diameter (in inches) of the tree. For example, a 10 inch diameter tree has a critical root zone with a ten foot radius from the tree. Working within the CRZ usually requires mitigations and/or monitoring by a certified arborist.

All trees potentially impacted by this project are numbered and identified on both the grading plan and the spreadsheet. Trees are numbered on the grading plans and in the field with an aluminum tag. Tree protection fencing is shown on the grading plan. In the field oak trees to be saved have yellow tape and trees to be removed have red tape attached to the tag (none for this project). Both critical root zones and drip lines are outlined on the plans.

If pruning is necessary for building, road or driveway clearance, removal of limbs larger than 6 inches in diameter will require a city approved permit along with a deposit paid in advance (to the City of Paso Robles). The city will send out a representative to approve or deny the permit. Only 25% of the live crown may be removed.

### **Tree Rating System**

A rating system of 1-10 was used for visually establishing the general health and condition of each tree on the spreadsheet. The rating system is defined as follows:

<b><u>Rating</u></b>	<b><u>Condition</u></b>
0	Deceased
1	Evidence of massive past failures, extreme disease and is in severe decline.
2	May be saved with attention to class 4 pruning, insect/pest eradication and future monitoring.

- 3 Some past failures, some pests or structural defects that may be mitigated by class IV pruning.
- 4 May have had minor past failures, excessive deadwood or minor structural defects that can be mitigated with pruning.
- 5 Relatively healthy tree with little visual, structural and/or pest defects and problems.
- 6 Healthy tree that probably can be left in its natural state.
- 7-9 Has had proper arboricultural pruning and attention or have no apparent structural defects.
- 10 Specimen tree with perfect shape, structure and foliage in a protected setting (i.e. park, arboretum).

Aesthetic quality on the spreadsheet is defined as follows:

- **poor** - tree has little visual quality either due to severe suppression from other trees, past pruning practices, location or sparse foliage
- **fair** - visual quality has been jeopardized by utility pruning/obstructions or partial suppression and overall symmetry is average
- **good** - tree has good structure and symmetry either naturally or from prior pruning events and is located in an area that benefits from the trees position
- **excellent** - tree has great structure, symmetry and foliage and is located in a premier location. Tree is not over mature.

The following mitigation measures/methods must be fully understood and followed by anyone working within the critical root zone of any native tree. Any necessary clarification will be provided by us (the arborists) upon request.

**Report Distribution:** It is the responsibility of the **owner or project manager** to provide a copy of this tree protection plan to any and all contractors and subcontractors that work within the critical root zone of any native tree and confirm they are trained in maintaining fencing, protecting root zones and conforming to all tree protection goals. It is highly recommended that each contractor sign and acknowledge this tree protection plan.

**Changes:** Any future changes (within the critical root zone) in the project will need Project Arborist review and implementation of potential mitigation measures before any said changes can proceed. All changes are subject to additional charges for subsequent field visits and addendums.

**Fencing:** The proposed fencing shall be shown in orange ink on the grading plan. It must be a minimum of 4' high chain link, snow or safety fence staked (with t posts 8 feet on center) at the edge of the critical root zone or line of encroachment for each tree or group of trees. The fence shall be up before any construction or earth moving begins and shall mirror the fencing outline on the site plans. The owner shall be responsible for maintaining an erect fence throughout the construction period. The arborist(s), upon notification, will inspect the fence placement once it is erected. After this time, fencing shall not be moved without arborist inspection/approval. If the orange plastic fencing is used, a minimum of four zip ties shall be used on each stake to secure the fence. All efforts shall be made to maximize the distance from each saved tree.

Weather proof signs shall be permanently posted on the fences every 50 feet, with the following information:

**Tree Protection Zone**

No personnel, equipment, materials, and vehicles are allowed

Do not remove or re-position this fence without calling:

A & T Arborists  
434-0131

**Soil Aeration Methods:** Soils within the critical root zone that have been compacted by heavy equipment and/or construction activities must be returned to their original state before all work is completed. Methods include water jetting, adding organic matter, and boring small holes with an auger (18" deep, 2-3' apart with a 2-4" auger) and the application of moderate amounts of nitrogen fertilizer. The arborist(s) shall advise.

**Chip Mulch:** All areas within the critical root zone of the trees that can be fenced shall receive a 4-6" layer of chip mulch to retain moisture, soil structure and reduce the effects of soil compaction.

**Trenching Within Critical Root Zone:** All trenching within the critical root zone of native trees shall be **hand dug**. All major roots shall be avoided whenever possible. All exposed roots larger than 1" in diameter shall be clean cut with sharp pruning tools and not left ragged. A **Mandatory** meeting between the arborists and grading contractor(s) must take place prior to work start.

**Grading Within The Critical Root Zone:** Grading should not encroach within the critical root zone unless authorized. Grading should not disrupt the normal drainage pattern around the trees. Fills should not create a ponding condition and excavations should not leave the tree on a rapidly draining mound.

**Exposed Roots:** Any exposed roots shall be re-covered the same day they were exposed. If they cannot, they must be covered with burlap or another suitable material and wetted down 2x per day until re-buried.

**Equipment Operation:** Vehicles and all heavy equipment shall not be driven under the trees, as this will contribute to soil compaction. Also there is to be no parking of equipment or personal vehicles in these areas. All areas behind fencing are off limits unless pre-approved by the arborist.

**Existing Surfaces:** The existing ground surface within the critical root zone of all oak trees shall not be cut, filled, compacted or pared, unless shown on the grading plans **and** approved by the arborist.

**Construction Materials And Waste:** No liquid or solid construction waste shall be dumped on the ground within the critical root zone of any native tree. The critical root zone areas are not for storage of materials either.

**Arborist Monitoring:** An arborist shall be present for selected activities (trees identified on spreadsheet and items bulleted below). The monitoring does not necessarily have to be continuous but observational at times during these activities. It is the responsibility of the **owner(s) or their designee** to inform us prior to these events so we can make arrangements to be present. All monitoring will be documented on the field report form which will be forwarded to the project manager and the City of Paso Robles Planning Department.

- pre-construction fence placement inspection
- all grading and trenching identified on the spreadsheet
- any other encroachment the arborist feels necessary

**Pre-Construction Meeting:** An on-site pre-construction meeting with the Arborist(s), Owner(s), Planning Staff, and the earth moving team shall be required for this project. Prior to final occupancy, a letter from the arborist(s) shall be required verifying the health/condition of all impacted trees and providing any recommendations for any additional mitigation. The letter shall verify that the arborist(s) were on site for all grading and/or trenching activity that encroached into the critical root zone of the selected native trees, and that all work done in these areas was completed to the standards set forth above.

**Pruning** Class 4 pruning includes-Crown reduction pruning shall consist of reduction of tops, sides or individual limbs. A trained arborist shall perform all pruning. No pruning shall take more than 25% of the live crown of any native tree. Any trees that may need pruning for road/home clearance shall be pruned **prior** to any grading activities to avoid any branch tearing.

**Landscape:** All landscape within the critical root zone shall consist of drought tolerant or native varieties. Lawns shall be avoided. All irrigation trenching shall be routed around critical root zones, otherwise above ground drip-irrigation shall be used. It is the owner's responsibility to notify the landscape contractor regarding this mitigation.

**Utility Placement:** All utilities, sewer and storm drains shall be placed down the roads and driveways and when possible outside of the critical root zones. The arborist shall supervise trenching within the critical root zone. **All trenches in these areas shall be exposed by air spade or hand dug with utilities routed under/over roots larger than 3 inches in diameter.**

**Fertilization and Cultural Practices:** As the project moves toward completion, the arborist(s) may suggest either fertilization and/or mycorrhiza applications that will benefit tree health. Mycorrhiza offers several benefits to the host plant, including faster growth, improved nutrition, greater drought resistance, and protection from pathogens.

The included spreadsheet includes trees listed by number, species and multiple stems if applicable, scientific name, diameter and breast height (4.5'), condition (scale from poor to excellent), status (avoided, impacted, removed, exempt), percent of critical root zone impacted, mitigation required (fencing, root pruning, monitoring), construction impact

(trenching, grading), recommended pruning, aesthetic value and individual tree notes along with canopy spread.

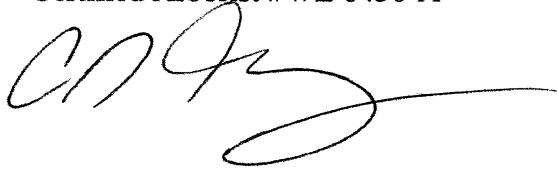
For this project, critical root zone encroachment will be minimal. If all the above mitigation measures (both standard and specific) are followed, we feel there will be no long-term significant impacts to the native trees.

Please let us know if we can be of any future assistance to you for this project.

Steven G. Alvarez  
Certified Arborist #WC 0511



Chip Tamagni  
Certified Arborist #WE 6436-A



TREE PROTECTION SPREAD SHEET Sharp

1	2	3	4	5	6	7	8	9	10	11	12	13	14
TREE #	TREE SPECIES	SCIENTIFIC NAME	TRUNK DBH	TREE CONDITION	CONST STATUS	CRZ % IMPACT	CONST IMPACT	MITIGATION PROPOSAL	MONT REQUIRED	PRUNING CLASS	AESTH. VALUE	FIELD NOTES	NS EW
1	BO	Q. doug.	24	2	I	5%	GR	fencing	NO	IV	fair	utility trimmed	25/25
2	BO	Q. doug.	26	3	A	0%		fencing	NO	IV	fair	utility trimmed	30/36
3													
4													
5													
6													
7													
8													
9													
10													
11													
12													
13													
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18													
19													
20													

1 = TREE # MOSTLY CLOCKWISE FROM DUE NORTH  
 2 = TREE TYPE: COMMON NAME (E.W.O.= WHITE OAK)  
 3 = SCIENTIFIC NAME  
 4 = TRUNK DIAMETER @ 46"  
 5 = TREE CONDITION: 1 = POOR, 10 = EXCELLENT  
 6 = CONSTRUCTION STATUS: AVOIDED, IMPACTED, REMOVAL  
 7 = CRZ: PERCENT OF IMPACTED CRITICAL ROOT ZONE  
 8 = CONSTRUCTION IMPACT TYPE: GRADING, COMPACTION, TRENCHING  
 9 = MITIGATION REQUIREMENTS: FENCING, MONITORING, ROOTPRUNING,  
 10 = ARBORIST MONITORING REQUIRED: YES/NO  
 11 = PRESCRIBED PRUNING: CLASS 1-4  
 12 = AESTHETIC VALUE  
 12 = FIELD NOTES  
 13 = NORTH SOUTH/ EAST WEST CANOPY SPREAD

**RESOLUTION NO:**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PASO ROBLES  
ADOPTING A NEGATIVE DECLARATION FOR  
PLANNED DEVELOPMENT 06-003  
1100 UNION ROAD, APN 025-403-037  
APPLICANT – ROGER SHARP**

**WHEREAS**, Planned Development 06-003 has been filed by Roger Sharp; and

**WHEREAS**, Planned Development 06-003 is a proposal to construct a 11,100 s.f. multi-tenant, commercial building at 1100 Union Road; and

**WHEREAS**, the proposed project and land uses are consistent with the Commercial Service General Plan land use designation, the Commercial/Light Manufacturing (C3) Zoning District, and the Commercial/Industrial Design Guidelines; and

**WHEREAS**, this is an infill development site that does not have any significant development constraints; and

**WHEREAS**, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study and a Draft Negative Declaration was prepared and circulated for public review and comment; and

**WHEREAS**, comments from the San Luis Obispo County Air Pollution Control District were received in regard to the Draft Negative Declaration and are incorporated into the Initial Study; and

**WHEREAS**, Public Notice of the proposed Draft Negative Declaration was posted as required by Section 21092 of the Public Resources Code; and

**WHEREAS**, a public hearing was conducted by the Planning Commission on September 26, 2006 to consider the Initial Study, the proposed Negative Declaration prepared for the proposed project, and to accept public testimony on the Planned Development and environmental determination; and

**WHEREAS**, based on the information and analysis contained in the Initial Study prepared for this project and testimony received as a result of the public notice, the Planning Commission finds that there is no substantial evidence that there would be a significant impact on the environment as a result of the development and operation of the proposed project.

**NOW, THEREFORE, BE IT RESOLVED**, by the Planning Commission of the City of El Paso de Robles, based on its independent judgment, that it does hereby adopt a Negative Declaration for Planned Development 06-003 in accordance with the Statutes and Guidelines of the California Environmental Quality Act (CEQA) and the City's Procedures for Implementing CEQA.

**PASSED AND ADOPTED** THIS 26th day of September, 2006, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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CHAIRMAN JOHN HAMON

ATTEST:

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RON WHISENAND, PLANNING COMMISSION SECRETARY



**RESOLUTION NO.**

**A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF PASO ROBLES  
APPROVING PLANNED DEVELOPMENT 06-003  
1100 UNION ROAD, APN 025-403-037  
APPLICANT – ROGER SHARP**

**WHEREAS**, Planned Development 06-003 has been filed by Roger Sharp; and

**WHEREAS**, Planned Development 06-003 is a proposal to construct a 2-story 11,100 s.f. multi-tenant, commercial building at 1100 Union Road; and

**WHEREAS**, the intended commercial uses include retail, a small restaurant and offices; and

**WHEREAS**, the contemporary architectural design incorporates building details on all four sides of the structure; and

**WHEREAS**, the proposed project and land uses are consistent with the Commercial Service (CS) General Plan land use designation, the Commercial/Light Manufacturing (C3) Zoning District, and the Commercial/Industrial Design Guidelines; and

**WHEREAS**, this is an infill development site that does not have any significant development constraints; and

**WHEREAS**, there are two existing oak trees located adjacent to the project site on Union Road that are not proposed to be removed with this project, and oak tree protection measures to protect the Critical Root Zone of the trees has been incorporated into the conditions of approval for this project; and

**WHEREAS**, the Planning Commission held a duly noticed public hearing on September 26, 2006 on this project to accept public testimony on the Planned Development application PD 06-003 and associated environmental review; and

**WHEREAS**, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

**WHEREAS**, based on the information and analysis contained in the Initial Study, a determination has been made that the proposed commercial project will not result in significant environmental impacts and it is appropriate for the Planning Commission to adopt a Negative Declaration, which is included in a separate resolution; and

**WHEREAS**, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The project is consistent with the adopted codes, policies, standards and plans of the City; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be

injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors; and the public right-of-way; and
4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts; and
5. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc.; and
6. The proposed development plan contributes to the orderly development of the City as a whole.
7. The proposed project implements the intent of the 2006 Economic Strategy by providing a quality development project that will attract economic development and employment opportunities in the City.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 06-003, subject to the following conditions:

**STANDARD CONDITIONS:**

1. This project shall comply with the checked standard Conditions of Approval, attached hereto as Exhibit “A” and incorporated herein by reference.

**SITE SPECIFIC CONDITIONS:**

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

<b>EXHIBIT</b>	<b>DESCRIPTION</b>
A	Standard Conditions of Approval
B	Site Plan
C	Exterior Elevations
D	Arborist Report

3. This PD 06-003 allows for development of a 11,100 s.f. commercial building to allow: retail (4,750 s.f.); a small restaurant (1,350 s.f.); and office (5,000 s.f.) uses.
4. The parking lot shall provide the required 53 parking spaces. This includes 19 spaces for the retail area, 9 spaces for the restaurant, and 25 spaces for the office use. The parking lot shall be designed in compliance with the City Zoning Code parking lot design standards.
5. The project shall be designed and constructed to be in substantial conformance with the site plan and elevations approved with this resolution.

6. This PD 06-003 is valid for a period of two (2) years from approval. Unless permits have been issued and site work has begun, the approval of PD 06-003 shall expire on September 26, 2008. The Planning Commission may extend this expiration date for an additional three (3) years if a time extension application has been filed with the City along with the fees before the expiration date.
7. Prior to issuance of certificates of use and occupancy, the property-owner or authorized agent is required to pay the City's Development Impact Fees.
8. No underground or aboveground storage of hazardous materials shall be allowed on-site without first obtaining City approval.
9. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
10. All existing and new overhead utilities shall be placed underground, except as otherwise exempted by City codes.
11. Temporary construction noise levels in excess of 60 decibels shall be restricted to the daylight hours of 7am to 6pm. Noise levels shall be measured or monitored from site boundaries or the nearest adjoining residential use to determine compliance.
12. The project shall be in compliance the following recommendations of the San Luis Obispo County Air Pollution Control District so as to minimize creation of fugitive dust and other emission resulting from use of construction equipment as follows:

**CONSTRUCTION PHASE MITIGATION:**

**Dust Control Measures**

Construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. Dust complaints could result in a violation of the District's 402 "Nuisance" Rule. Due to this project's proximity to neighboring commercial uses the APCD conditions this project to comply with all applicable air quality regulations pertaining to the control of fugitive dust (PM10) as contained in section 6.5 of the Air Quality Handbook. **All site grading and demolition plans noted shall list the following regulations:**

- a. Reduce the amount of the disturbed area where possible.
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
- c. All dirt stock pile areas should be sprayed daily as needed.
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities.
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating native grass seed and watered until vegetation is established.
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD.
- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in

accordance with CVC Section 23114.

- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site.
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible.

All PM10 mitigation measures required should be shown on grading and building plans. In addition, the contractor or builder should designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. **The name and telephone number of such persons shall be provided to the APCD prior to land use clearance for map recordation and finished grading of the area.**

#### Naturally Occurring Asbestos

The project site is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Under the ARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, **prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed.** If NOA is not present, an exemption request must be filed with the District (see Attachment 1). If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. Please refer to the APCD web page at <http://www.slocleanair.org/business/asbestos.asp> for more information or contact Karen Brooks of our Enforcement Division at 781-5912.

#### Permits

Based on the information provided, we are unsure of the types of equipment that may be present at the site. Portable equipment used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or a District permit. Operational sources, such as back up generators, may also require APCD permits. **To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

- 13. Use and operation of the project and its appurtenances shall be conducted in compliance with the City's General Performance Standards for all uses (Section 21.21.040 of Chapter 21.21 Performance Standards of the City's Zoning Ordinance).
- 14. Prior to grading permit, the applicant shall provide plans for the treatment of storm water leaving the site.
- 15. The applicant will be required to provide a storm water detention basin in accordance with a design approved by the City Engineer.
- 16. A Constructive Notice shall be recorded prior to building final of the building that provides notice to the property owner that all uses shall comply with the applicable parking standards such that uses on the site may not exceed a parking demand requiring 53 spaces at any one time.
- 17. A sign permit shall be submitted for any signs proposed and shall be reviewed and approved by the Development Review Committee.

18. Both trees shall have the canopies raised and deadwood removed prior to grading activities for the sidewalk and parking lot areas. The landscape shall be drought tolerant as described in the standard mitigations and any light grading within the critical root zones shall be completed by hand. There shall be no equipment grading within the critical root zone except for the sidewalk area only. There are no utilities shown within the critical root zone for either tree. Any changes will need arborist and City approval. See Exhibit D, Arborist Report with Standard Mitigation Measures.
19. The sprinkler backflow valve shall be located in an underground vault or adequately screened from public view on Golden Hill Road with vegetation that is dense and high enough to conceal it.

**Emergency Services Conditions:**

20. The applicant shall provide fire sprinkler systems for this commercial building.
21. The applicant shall upgrade existing fire hydrants to the specifications determined by the City Engineer.
22. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.

**Engineering Conditions:**

23. Prior to occupancy, the applicant shall construct improvements to Golden Hill Road and Union Road in accordance with plans approved by the City Engineer. The plans and construction program shall include street lights, underground utilities and fire hydrants as required by the Fire Chief. The oak trees on Union Road shall be preserved in accordance with arborists recommendations.
24. Prior to occupancy, the applicant shall dedicate all public right-of-way needed for the installation of a roundabout at the intersection of Golden Hill and Union Roads.
25. Prior to occupancy, landscaping shall be provided in the public right-of-way in accordance with plans approved by the Planning Division and Streets Superintendent.
26. Prior to occupancy, the applicant shall enter into an agreement to participate in the construction of a roundabout at the intersection of Golden Hill Road and Union Road.
27. Prior to occupancy, overhead utilities on Golden Hill Road and Union Road shall be relocated underground.
26. The grading plan for the project shall include an underground storm water detention basin.

PASSED AND ADOPTED THIS 26th day of September, 2006 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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CHAIRMAN JOHN HAMON

ATTEST:

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RON WHISENAND, PLANNING COMMISSION SECRETARY

**EXHIBIT A OF RESOLUTION**

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS  
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PD 06-003

APPROVING BODY: PLANNING COMMISSION

DATE OF APPROVAL: SEPTEMBER 26, 2006

APPLICANT: SHARP

LOCATION: GOLDEN HILL ROAD, UNION ROAD

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

**COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:**

**A. GENERAL CONDITIONS:**

- 1. This project approval shall expire on September 26, 2006 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

(Adopted by Planning Commission Resolution 94-038)

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

(Adopted by Planning Commission Resolution 94-038)



- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

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The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

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- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

**B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:**

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
  - Development Review Committee shall approve the following:
  - Planning Division Staff shall approve the following:
    - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
    - b. A detailed landscape plan;
    - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
    - d. Other: See PD 00-023 Resolution for specific DRC review requirements.
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

**C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:**

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

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(Adopted by Planning Commission Resolution 94-038)

**PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:**

APPLICANT: SHARP PREPARED BY: JF  
REPRESENTATIVE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
PROJECT: PD 06-003 TO PLANNING: \_\_\_\_\_

All conditions marked are applicable to the above referenced project for the phase indicated.

**D. PRIOR TO ANY PLAN CHECK:**

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

**E. PRIOR TO ISSUANCE OF A GRADING PERMIT:**

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

**F. PRIOR TO ANY SITE WORK:**

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Union Road	Arterial	A-1
Street Name	City Standard	Standard Drawing No.
Golden Hill Road	Arterial	A-1
Street Name	City Standard	Standard Drawing No.
Street Name	City Standard	Standard Drawing No.

(Adopted by Planning Commission Resolution 94-038)

- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
  - a. Public Utilities Easement;
  - b. Water Line Easement;
  - c. Sewer Facilities Easement;
  - d. Landscape Easement;
  - e. Storm Drain Easement.

**G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
  - a. Street lights;
  - b. Parkway and open space landscaping;
  - c. Wall maintenance in conjunction with landscaping;
  - d. Graffiti abatement;
  - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the

(Adopted by Planning Commission Resolution 94-038)

developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.

- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

**H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:**

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate,

(Adopted by Planning Commission Resolution 94-038)

and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).

- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.
- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- 12. A blackline clear Mylar (0.4 MIL) copy and a blue line print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.
- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

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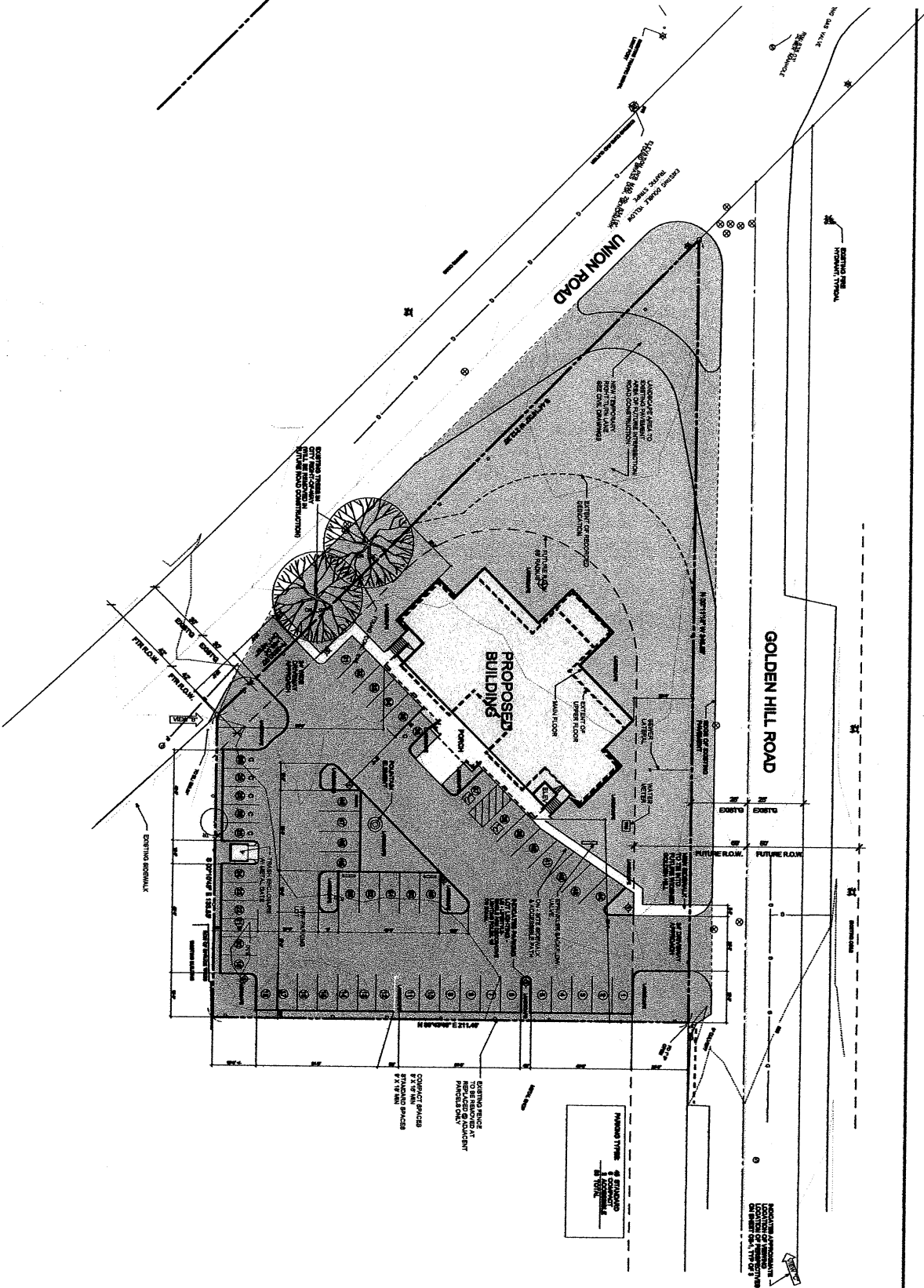
**PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:**

**I. GENERAL CONDITIONS**

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)





Preliminary Site Plan

SCALE: 1" = 20'

Revisions:

Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

Jeffrey Schneiderit ● Architects  
104 South Main Street  
Tempton, CA 93465  
Phone: 805 434-0777  
Fax: 805 434-0776

SP-1  
SHEET 2 OF 4

# Exhibit C Exterior Elevations



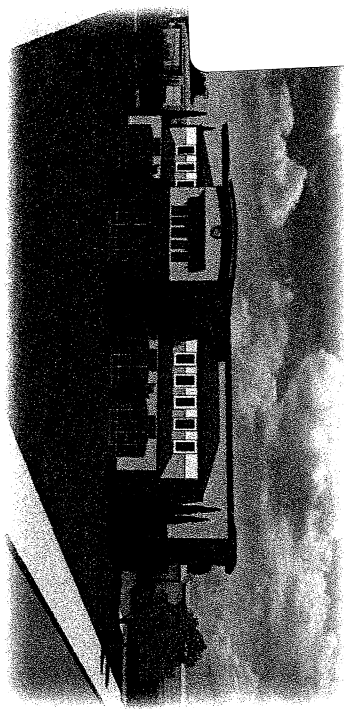
STORIES	2 STORIES
CONSTRUCTION TYPE	W4
SPRINKLER	YES
APPROVED OCCUPANCIES	B, F, E, L, M, S, U, OS, S, Q
OCCUPANT/USE	AREA OCCUPANTS
LOWER FLOOR - RETAIL SALES	6,000 S.F.
UPPER FLOOR - OFFICE SPACES	5,000 S.F.
TOTAL PROPOSED AREA	11,000 S.F.

<b>Project Data</b>	
ADDRESS	GOLDEN HILL AT UNION ROAD 1100 UNION ROAD TEMPLETON, CALIFORNIA 92690-4931
APR	C-3
ZONE	OFFICE SPACES ON FIRST FLOOR OFFICE TYPICAL ON UPPER FLOOR
PROJECT DESCRIPTION	1.14 ACRES +/- (0.9283) 30' x 40' +/- 11,000 S.F.
LOT AREA	11,000 S.F.
BUILDING AREA	11,000 S.F.
NEW AREA	11,000 S.F.
LOWER FLOOR - RETAIL SALES	6,000 S.F.
UPPER FLOOR - OFFICE SPACES	5,000 S.F.
TOTAL PROPOSED AREA	11,000 S.F.

<b>Contact Information</b>	
ARCHITECT	JEFF SCHNEIDERER ARCHITECTS 104 SOUTH MAIN STREET TEMPLETON, CA 92665 TEL: 805-434-4377 805-434-0776
CIVIL ENGINEER	JON GONZALES, P.E. 724 BRUNNEN STREET TEMPLETON, CA 92665 805-236-2581

<b>Sheet Index</b>	
Sheet	Description
CS-1	Cover Sheet
SP-1	Site Plan
SP-2	Preliminary Landscape Plan
A-1	Floor Plans
A-2	Exterior Elevations

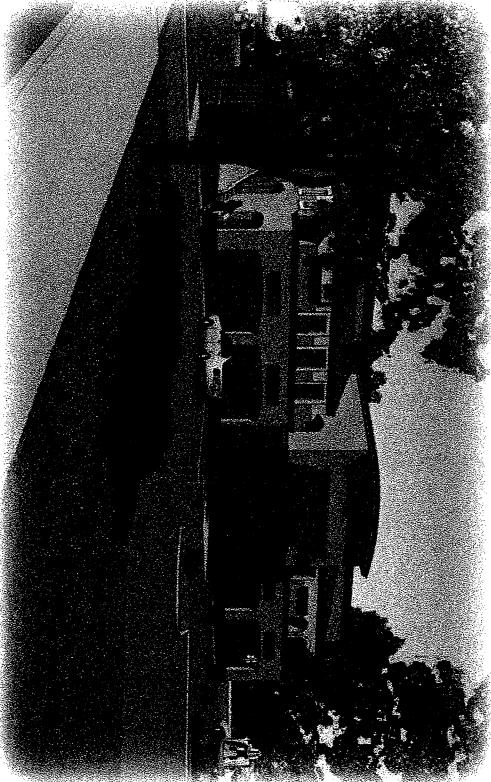
**A** View North from opposite street corner



**C** View South from Golden Hill Road



**B** View West from property corner across parking lot



**B** View West from property corner across parking lot

1100 Union Road

Office / Retail Building  
1100 Union Road at Golden Hill  
Roger & Susan Sharp

Jeffrey Schneiderer • Architects  
104 South Main Street  
Templeton, CA 92665  
Phone: 805 434-4377  
Fax: 805 434-0776

CS-1  
SHEET 1 OF 3



**A & T ARBORISTS**  
P.O. BOX 1311 TEMPLETON, CA 93465 (8

**Tree Preservation Plan  
For  
Roger and Susan Sharp  
1100 Union Road  
Paso Robles**

Paso Robles  
SEP 14 2006  
Planning Division

**Prepared by A & T Arborists  
and Vegetation Management**

**Chip Tamagni  
Certified Arborist #WE 6436-A**

**Steven Alvarez  
Certified Arborist #WE 511-A**

Tract # \_\_\_\_\_

PD # \_\_\_\_\_

Building Permit # \_\_\_\_\_

**Project Description:** This project involves the proposed office retail building and associated parking lot located at the corner of Union Road and Golden Hill Road. There are two blue oak trees (*Quercus douglasii*) on the property. Both trees are adjacent to Union Road as shown on the plans. Tree #1 has been pruned for utility line clearance and has symptoms of oak anthracnose in addition to mistletoe. In addition, this tree has excessive deadwood. Tree #2 has also been pruned for utility clearance. This tree also has deadwood that needs removal. Landscaping is planned within the critical root zones of both trees, however, this will have to be mitigated (see below). The sidewalk construction will encroach approximately 5% into the critical root zone of tree #1.

**Specific Mitigations Pertaining to the Project:** Both trees shall have the canopies raised and deadwood removed prior to grading activities for the sidewalk and parking lot areas. The landscape shall be drought tolerant as described in the standard mitigations and any light grading within the critical root zones shall be completed by hand. There shall be no equipment grading within the critical root zone except for the sidewalk area only. There are no utilities shown within the critical root zone of either tree. Any changes will need arborist approval.

The term “critical root zone” or CRZ is an imaginary circle around each tree. The radius of this circle (in feet) is equal to the diameter (in inches) of the tree. For example, a 10 inch diameter tree has a critical root zone with a ten foot radius from the tree. Working within the CRZ usually requires mitigations and/or monitoring by a certified arborist.

All trees potentially impacted by this project are numbered and identified on both the grading plan and the spreadsheet. Trees are numbered on the grading plans and in the field with an aluminum tag. Tree protection fencing is shown on the grading plan. In the field oak trees to be saved have yellow tape and trees to be removed have red tape attached to the tag (none for this project). Both critical root zones and drip lines are outlined on the plans.

If pruning is necessary for building, road or driveway clearance, removal of limbs larger than 6 inches in diameter will require a city approved permit along with a deposit paid in advance (to the City of Paso Robles). The city will send out a representative to approve or deny the permit. Only 25% of the live crown may be removed.

### **Tree Rating System**

A rating system of 1-10 was used for visually establishing the general health and condition of each tree on the spreadsheet. The rating system is defined as follows:

<b><u>Rating</u></b>	<b><u>Condition</u></b>
0	Deceased
1	Evidence of massive past failures, extreme disease and is in severe decline.
2	May be saved with attention to class 4 pruning, insect/pest eradication and future monitoring.

- 3 Some past failures, some pests or structural defects that may be mitigated by class IV pruning.
- 4 May have had minor past failures, excessive deadwood or minor structural defects that can be mitigated with pruning.
- 5 Relatively healthy tree with little visual, structural and/or pest defects and problems.
- 6 Healthy tree that probably can be left in its natural state.
- 7-9 Has had proper arboricultural pruning and attention or have no apparent structural defects.
- 10 Specimen tree with perfect shape, structure and foliage in a protected setting (i.e. park, arboretum).

Aesthetic quality on the spreadsheet is defined as follows:

- **poor** - tree has little visual quality either due to severe suppression from other trees, past pruning practices, location or sparse foliage
- **fair** - visual quality has been jeopardized by utility pruning/obstructions or partial suppression and overall symmetry is average
- **good** - tree has good structure and symmetry either naturally or from prior pruning events and is located in an area that benefits from the trees position
- **excellent** - tree has great structure, symmetry and foliage and is located in a premier location. Tree is not over mature.

The following mitigation measures/methods must be fully understood and followed by anyone working within the critical root zone of any native tree. Any necessary clarification will be provided by us (the arborists) upon request.

**Report Distribution:** It is the responsibility of the **owner or project manager** to provide a copy of this tree protection plan to any and all contractors and subcontractors that work within the critical root zone of any native tree and confirm they are trained in maintaining fencing, protecting root zones and conforming to all tree protection goals. It is highly recommended that each contractor sign and acknowledge this tree protection plan.

**Changes:** Any future changes (within the critical root zone) in the project will need Project Arborist review and implementation of potential mitigation measures before any said changes can proceed. All changes are subject to additional charges for subsequent field visits and addendums.

**Fencing:** The proposed fencing shall be shown in orange ink on the grading plan. It must be a minimum of 4' high chain link, snow or safety fence staked (with t posts 8 feet on center) at the edge of the critical root zone or line of encroachment for each tree or group of trees. The fence shall be up before any construction or earth moving begins and shall mirror the fencing outline on the site plans. The owner shall be responsible for maintaining an erect fence throughout the construction period. The arborist(s), upon notification, will inspect the fence placement once it is erected. After this time, fencing shall not be moved without arborist inspection/approval. If the orange plastic fencing is used, a minimum of four zip ties shall be used on each stake to secure the fence. All efforts shall be made to maximize the distance from each saved tree.

Weather proof signs shall be permanently posted on the fences every 50 feet, with the following information:

**Tree Protection Zone**  
No personnel, equipment,  
materials, and vehicles are  
allowed  
Do not remove or re-position  
this fence without calling:  
A & T Arborists  
434-0131

**Soil Aeration Methods:** Soils within the critical root zone that have been compacted by heavy equipment and/or construction activities must be returned to their original state before all work is completed. Methods include water jetting, adding organic matter, and boring small holes with an auger (18" deep, 2-3' apart with a 2-4" auger) and the application of moderate amounts of nitrogen fertilizer. The arborist(s) shall advise.

**Chip Mulch:** All areas within the critical root zone of the trees that can be fenced shall receive a 4-6" layer of chip mulch to retain moisture, soil structure and reduce the effects of soil compaction.

**Trenching Within Critical Root Rone:** All trenching within the critical root zone of native trees shall be **hand dug**. All major roots shall be avoided whenever possible. All exposed roots larger than 1" in diameter shall be clean cut with sharp pruning tools and not left ragged. A **Mandatory** meeting between the arborists and grading contractor(s) must take place prior to work start.

**Grading Within The Critical Root Zone:** Grading should not encroach within the critical root zone unless authorized. Grading should not disrupt the normal drainage pattern around the trees. Fills should not create a ponding condition and excavations should not leave the tree on a rapidly draining mound.

**Exposed Roots:** Any exposed roots shall be re-covered the same day they were exposed. If they cannot, they must be covered with burlap or another suitable material and wetted down 2x per day until re-buried.

**Equipment Operation:** Vehicles and all heavy equipment shall not be driven under the trees, as this will contribute to soil compaction. Also there is to be no parking of equipment or personal vehicles in these areas. All areas behind fencing are off limits unless pre-approved by the arborist.

**Existing Surfaces:** The existing ground surface within the critical root zone of all oak trees shall not be cut, filled, compacted or pared, unless shown on the grading plans **and** approved by the arborist.

**Construction Materials And Waste:** No liquid or solid construction waste shall be dumped on the ground within the critical root zone of any native tree. The critical root zone areas are not for storage of materials either.

**Arborist Monitoring:** An arborist shall be present for selected activities (trees identified on spreadsheet and items bulleted below). The monitoring does not necessarily have to be continuous but observational at times during these activities. It is the responsibility of the **owner(s) or their designee** to inform us prior to these events so we can make arrangements to be present. All monitoring will be documented on the field report form which will be forwarded to the project manager and the City of Paso Robles Planning Department.

- pre-construction fence placement inspection
- all grading and trenching identified on the spreadsheet
- any other encroachment the arborist feels necessary

**Pre-Construction Meeting:** An on-site pre-construction meeting with the Arborist(s), Owner(s), Planning Staff, and the earth moving team shall be required for this project. Prior to final occupancy, a letter from the arborist(s) shall be required verifying the health/condition of all impacted trees and providing any recommendations for any additional mitigation. The letter shall verify that the arborist(s) were on site for all grading and/or trenching activity that encroached into the critical root zone of the selected native trees, and that all work done in these areas was completed to the standards set forth above.

**Pruning** Class 4 pruning includes-Crown reduction pruning shall consist of reduction of tops, sides or individual limbs. A trained arborist shall perform all pruning. No pruning shall take more than 25% of the live crown of any native tree. Any trees that may need pruning for road/home clearance shall be pruned **prior** to any grading activities to avoid any branch tearing.

**Landscape:** All landscape within the critical root zone shall consist of drought tolerant or native varieties. Lawns shall be avoided. All irrigation trenching shall be routed around critical root zones, otherwise above ground drip-irrigation shall be used. It is the owner's responsibility to notify the landscape contractor regarding this mitigation.

**Utility Placement:** All utilities, sewer and storm drains shall be placed down the roads and driveways and when possible outside of the critical root zones. The arborist shall supervise trenching within the critical root zone. **All trenches in these areas shall be exposed by air spade or hand dug with utilities routed under/over roots larger than 3 inches in diameter.**

**Fertilization and Cultural Practices:** As the project moves toward completion, the arborist(s) may suggest either fertilization and/or mycorrhiza applications that will benefit tree health. Mycorrhiza offers several benefits to the host plant, including faster growth, improved nutrition, greater drought resistance, and protection from pathogens.

The included spreadsheet includes trees listed by number, species and multiple stems if applicable, scientific name, diameter and breast height (4.5'), condition (scale from poor to excellent), status (avoided, impacted, removed, exempt), percent of critical root zone impacted, mitigation required (fencing, root pruning, monitoring), construction impact

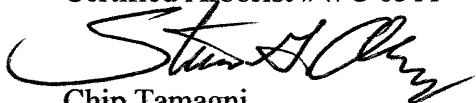


(trenching, grading), recommended pruning, aesthetic value and individual tree notes along with canopy spread.

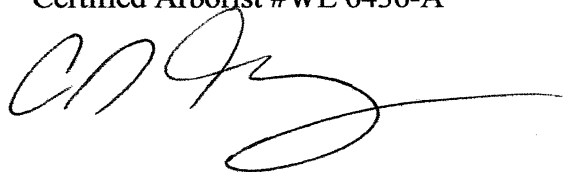
For this project, critical root zone encroachment will be minimal. If all the above mitigation measures (both standard and specific) are followed, we feel there will be no long-term significant impacts to the native trees.

Please let us know if we can be of any future assistance to you for this project.

Steven G. Alvarez  
Certified Arborist #WC 0511



Chip Tamagni  
Certified Arborist #WE 6436-A



TREE PROTECTION SPREAD SHEET Sharp

1	2	3	4	5	6	7	8	9	10	11	12	13	14
TREE #	TREE SPECIES	SCIENTIFIC NAME	TRUNK DBH	TREE CONDITION	CONST STATUS	CRZ % IMPACT	CONST IMPACT	MITIGATION PROPOSAL	MONT REQUIRED	PRUNING CLASS	AESTH. VALUE	FIELD NOTES	NS EW
1	BO	Q. doug.	24	2	I	5%	GR	fencing	NO	IV	fair	utility trimmed	25/25
2	BO	Q. doug.	26	3	A	0%		fencing	NO	IV	fair	utility trimmed	30/36
3													
4													
5													
6													
7													
8													
9													
10													
11													
12													
13													
14													
15													
16													
17													
18													
19													
20													

1 = TREE #: MOSTLY CLOCKWISE FROM DUE NORTH  
 2 = TREE TYPE: COMMON NAME IE W.O. = WHITE OAK  
 3 = SCIENTIFIC NAME  
 4 = TRUNK DIAMETER @ 46"  
 5 = TREE CONDITION: 1 = POOR, 10 = EXCELLENT  
 6 = CONSTRUCTION STATUS: AVOIDED, IMPACTED, REMOVAL  
 7 = CRZ: PERCENT OF IMPACTED CRITICAL ROOT ZONE  
 8 = CONSTRUCTION IMPACT TYPE: GRADING, COMPACTION, TRENCHING  
 9 = MITIGATION REQUIREMENTS: FENCING, MONITORING, ROOTPRUNING,  
 10 = ARBORIST MONITORING REQUIRED: YES/NO  
 11 = PERSCRIBED PRUNING: CLASS 1-4  
 12 = AESTHETIC VALUE  
 13 = FIELD NOTES  
 14 = NORTH SOUTH/ EAST WEST CANOPY SPREAD

## **MEMORANDUM**

**TO:** Susan DeCarli  
**FROM:** John Falkenstien  
**SUBJECT:** PD 06-003, Sharp  
**DATE:** September 26, 2006

### **Streets**

The subject property is located at the northeast corner of Golden Hill and Union Roads. Both Golden Hill and Union Roads are classified as Arterial Streets in the Circulation Element of the General Plan.

In 2004, conceptual plans for a roundabout at this intersection were prepared by Traffic Engineers at OMNI-MEANS. The conceptual plan was approved by the City Council as part of their approval of a plan line for Union Road from Kleck Road to Golden Hill Road.

Traffic Engineers at W-Trans of Santa Rosa have reviewed the site plan for the Sharp project and have determined that adequate right-of-way will be provided for the future implementation of a roundabout at the intersection of Union and Golden Hill Roads. W-Trans did comment that left turn access from Union Road into the project may be precluded with the installation of the roundabout.

### **Utilities**

Sewer is available from a 12-inch sewer line in Golden Hill Road. Special fees are associated with connections to this line.

Water is available to the property from 12-inch water mains in Golden Hill Road and in Union Road.

There are existing overhead utilities adjacent to the project on Golden Hill and Union Roads. These lines must be relocated underground adjacent to the development.

### **Drainage**

There are no storm drains or downstream channels available to accept storm water from this site. Underground storm water detention facilities will be required to mitigate the impacts of the development.

### **Site Specific Conditions**

Prior to occupancy, the applicant shall construct improvements to Golden Hill Road and Union Road in accordance with plans approved by the City Engineer. The plans and construction program shall include street lights, underground utilities and fire hydrants as required by the Fire Chief. The oak trees on Union Road shall be preserved in accordance with arborists recommendations.

Prior to occupancy, the applicant shall dedicate all public right-of-way needed for the installation of a roundabout at the intersection of Golden Hill and Union Roads.

Prior to occupancy, landscaping shall be provided in the public right-of-way in accordance with plans approved by the Planning Division and Streets Superintendent.

Prior to occupancy, the applicant shall enter into an agreement to participate in the construction of a roundabout at the intersection of Golden Hill Road and Union Road.

Prior to occupancy, overhead utilities on Golden Hill Road and Union Road shall be relocated underground.

The grading plan for the project shall include an underground storm water detention basin.

PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION/CITY COUNCIL  
PROJECT NOTICING

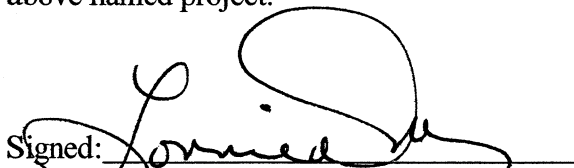
Newspaper: Tribune

Date of Publication: September 6, 2006

Meeting Date: September 26, 2006  
(Planning Commission)

Project: Planned Development 06-003  
(Roger Sharp/1100 Union Rd.)

I, Lonnie Dolan, employee of the Community Development Department, Planning Division, of the City of El Paso de Robles, do hereby certify that this notice is a true copy of a published legal newspaper notice for the above named project.

Signed:   
Lonnie Dolan

forms\newsaffi.691

**CITY OF EL PASO DE ROBLES**  
**NOTICE OF PUBLIC HEARING**  
**NOTICE OF INTENT TO ADOPT A**  
**NEGATIVE DECLARATION**

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing on Tuesday, September 26, 2006, at 7:30 p.m. at the City of El Paso de Robles, 1000 Spring Street, Paso Robles, California, in the City Council Chambers, to consider adoption of Negative Declaration in accordance with the provisions of the California Environmental Quality Act (CEQA) for the following project:

Planned Development 06-003: A request filed by Roger Sharp, to construct a 11,100 s.f. commercial (office and retail) building at 1100 Union Road. (APN 025-403-037). The project is in the Commercial/Light Industrial (C-3) zoning district.

The public review period for this project is September 6th through September 26th, 2006. The proposed Negative Declaration may be reviewed at the Community Development Department, 1000 Spring Street, Paso Robles, California. Copies may be purchased for the cost of reproduction.

Written comments on the proposed Planned Development and corresponding Negative Declaration may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446, provided that the comments are received prior to the time of the public hearing. Oral comments may be made at the hearing. Should you have any questions regarding this application, please call Susan DeCarri at (805) 237-3970.

If you challenge the Planned Development or Negative Declaration application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

Susan DeCarri, AICP  
City Planner  
September 6, 2006 6447749

**AFFIDAVIT  
OF MAIL NOTICES**

**PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING**

I, Gevorg Nazaryan, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Planned Development 06-003 A request to construct a 2-story, 11,100 sq ft. building – Commercial/Retail Building. (Applicant: Roger Sharp) APN: 025-403-037, on this 13<sup>th</sup> day of September, 2006.

City of El Paso de Robles  
Community Development Department  
Planning Division

Signed: \_\_\_\_\_

  
Gevorg Nazaryan

forms\mailaffi.691